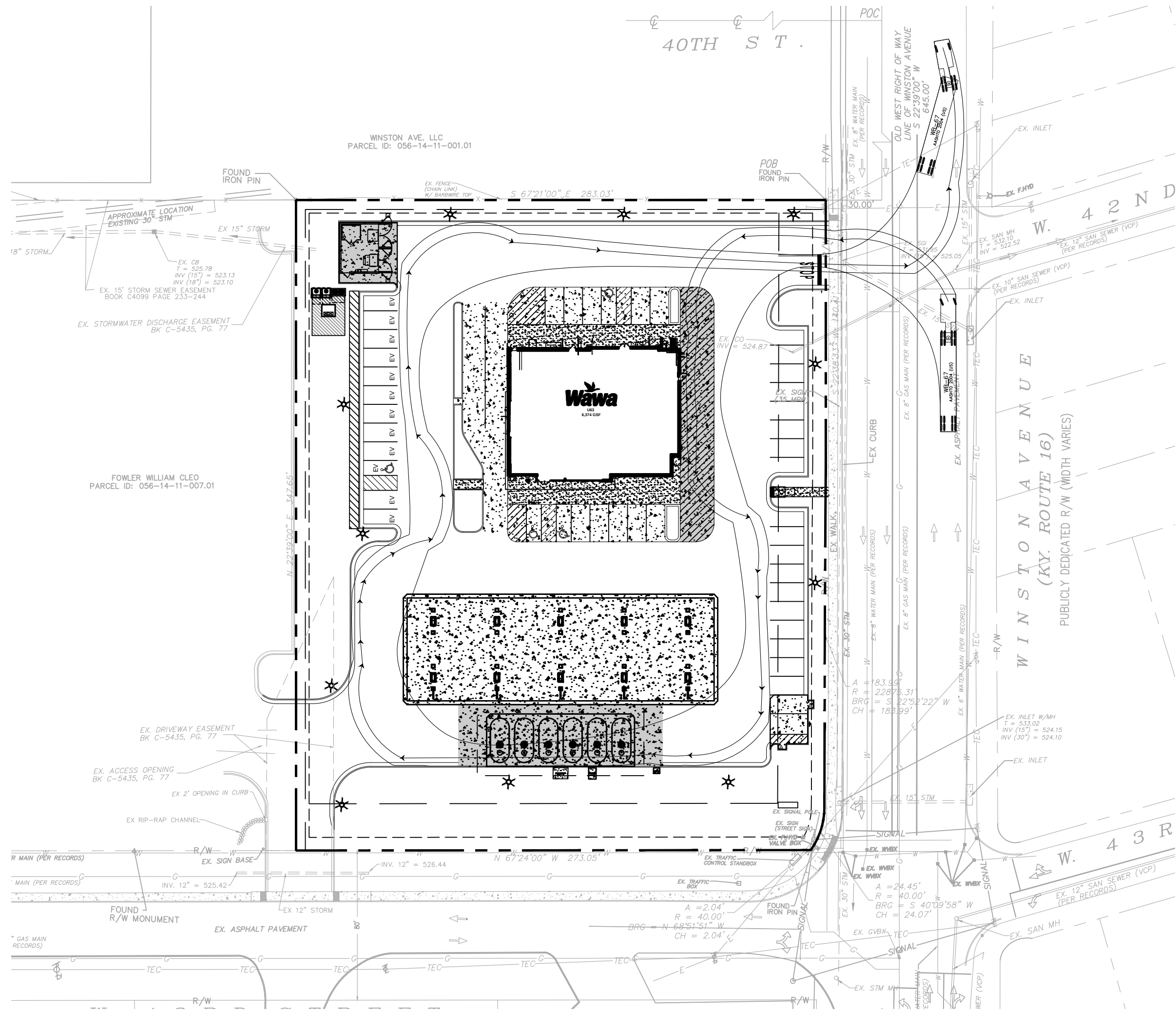
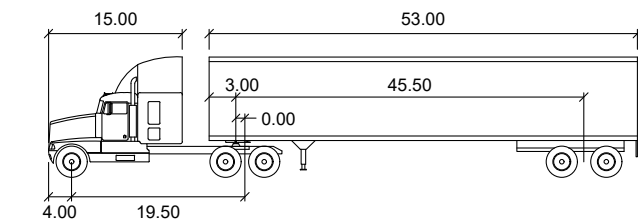


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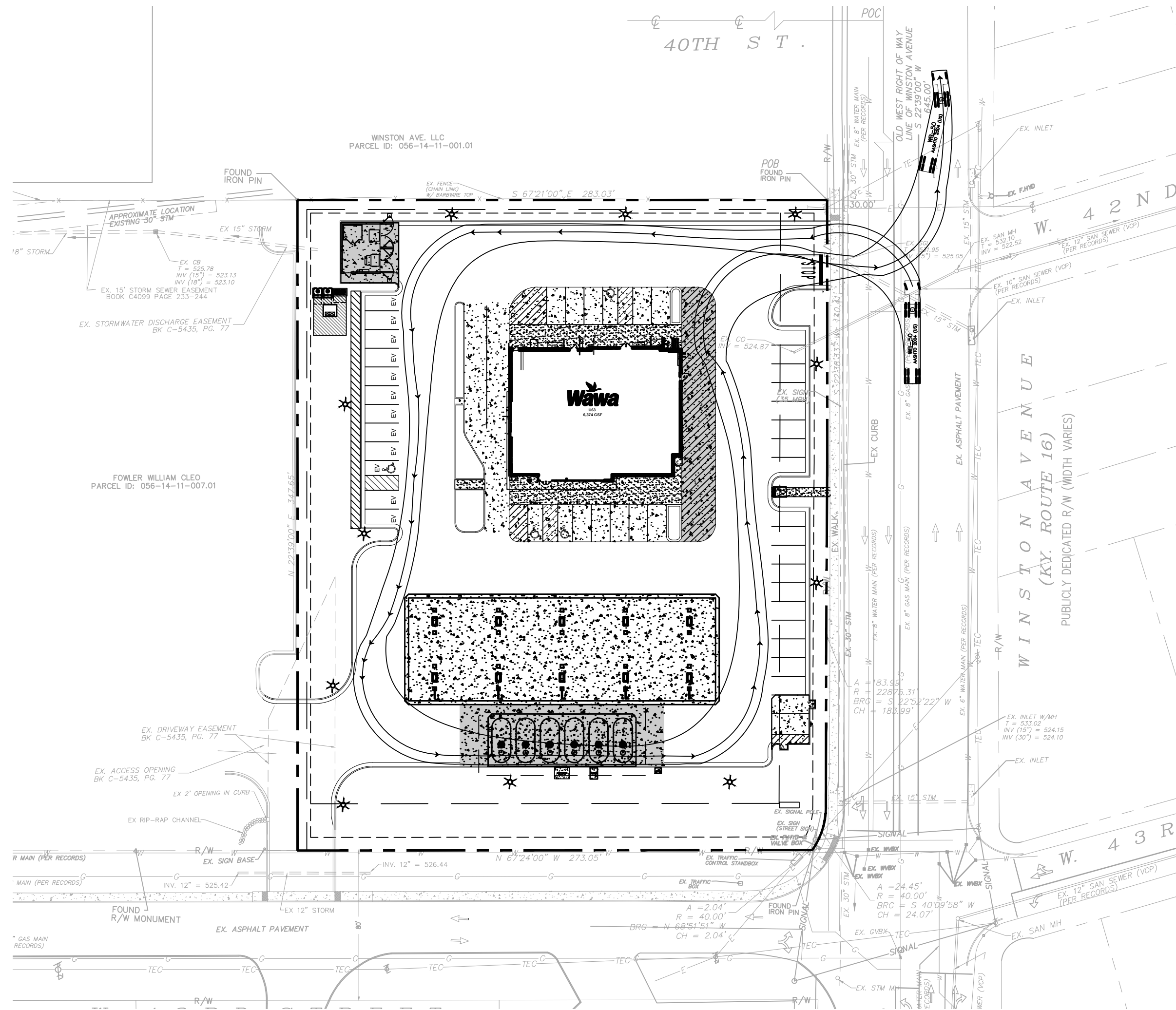


DELIVERY TRUCK TURN

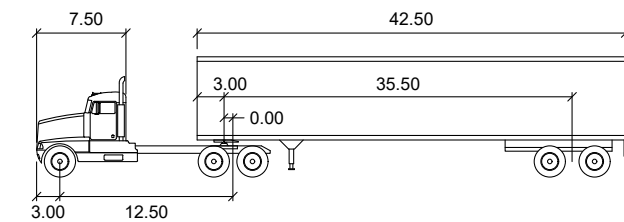


WB-67			
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Tractor Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		

DELIVERY TRUCK PROFILE



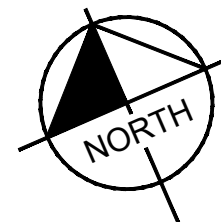
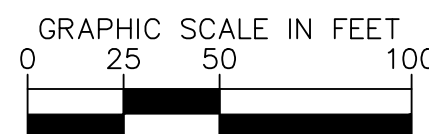
FUELING TRUCK TURN



WB-50			
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Tractor Width	: 8.50	Steering Angle	: 17.7
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		

FUELING TRUCK PROFILE

COORDINATES ARE
NAD83.
ALL ELEVATIONS ARE
REFERENCED TO THE
NAVD 1988.



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Kimley»Horn

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Main: 615.564.2701 | www.kimley-horn.com
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WAWA #7635
HUTTON COVINGTON KY
ST, LLC
WINSTON AVE AND W 43RD ST
COVINGTON, KY

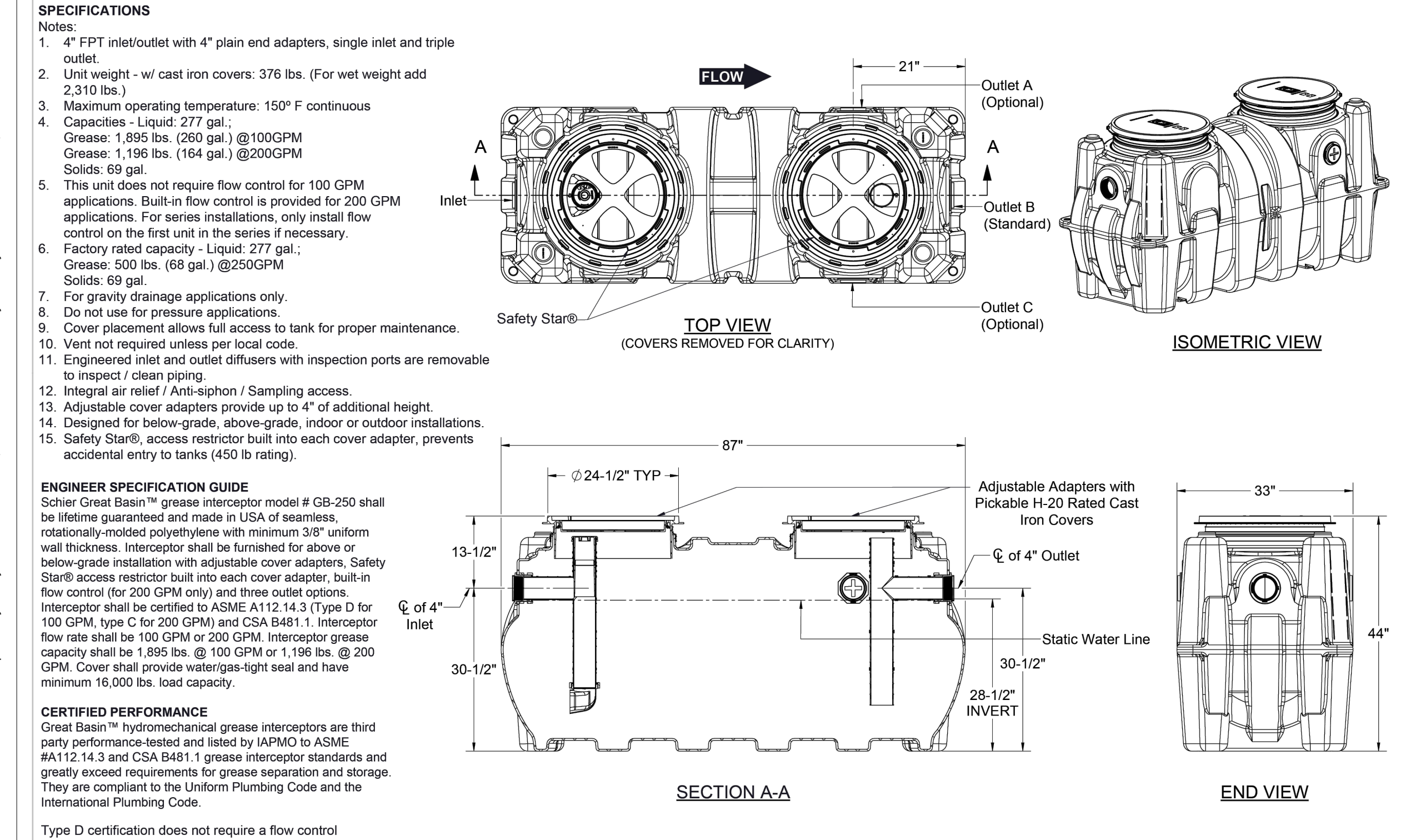


BY	DATE	REVISIONS
No.	1	2
DESIGNED BY:	KAA	
DRAWN BY:	KAA	
CHECKED BY:	LWB	
DATE:	12/22/2025	
KIMLEY-HORN PROJECT NO.	118481034	

TRUCK TURN PLAN

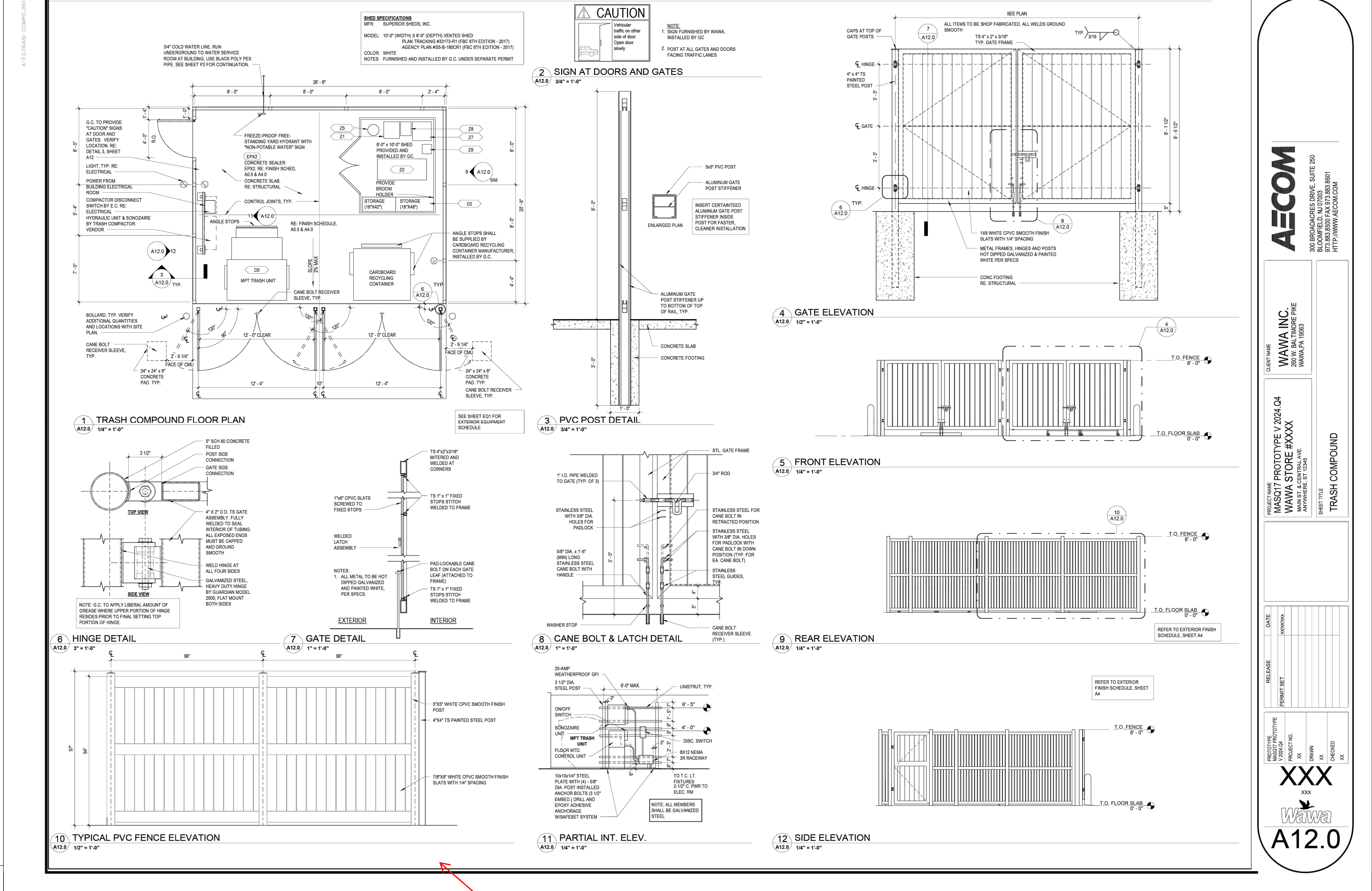
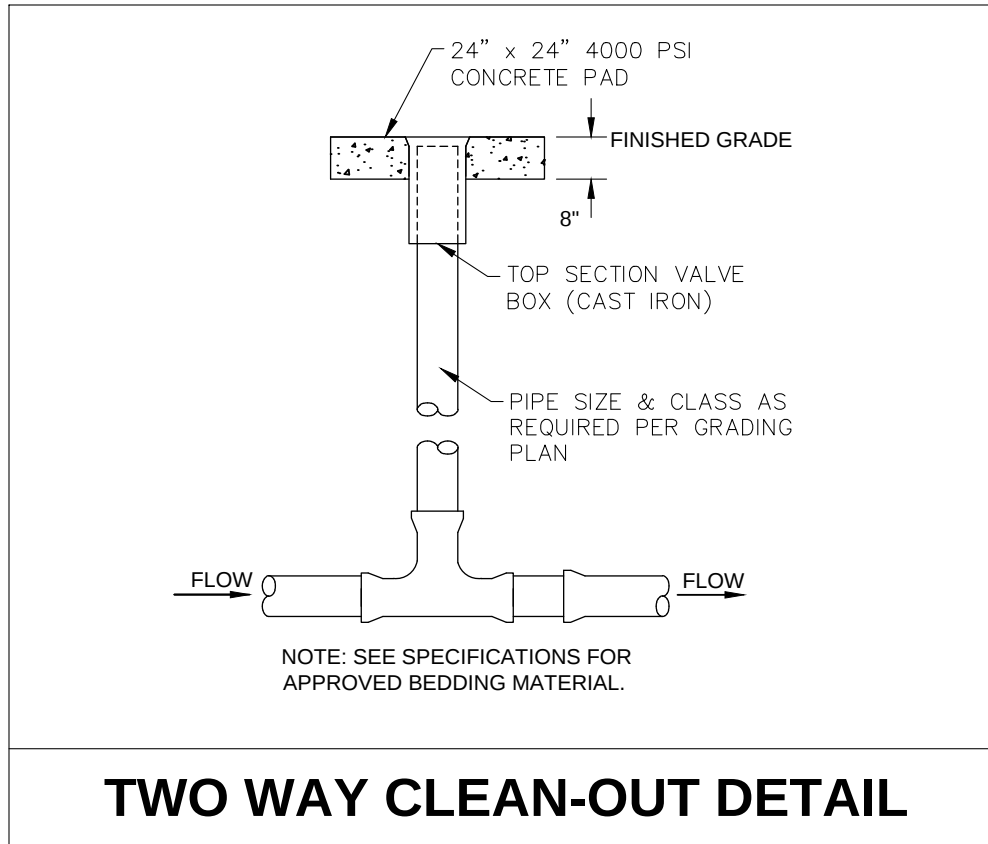
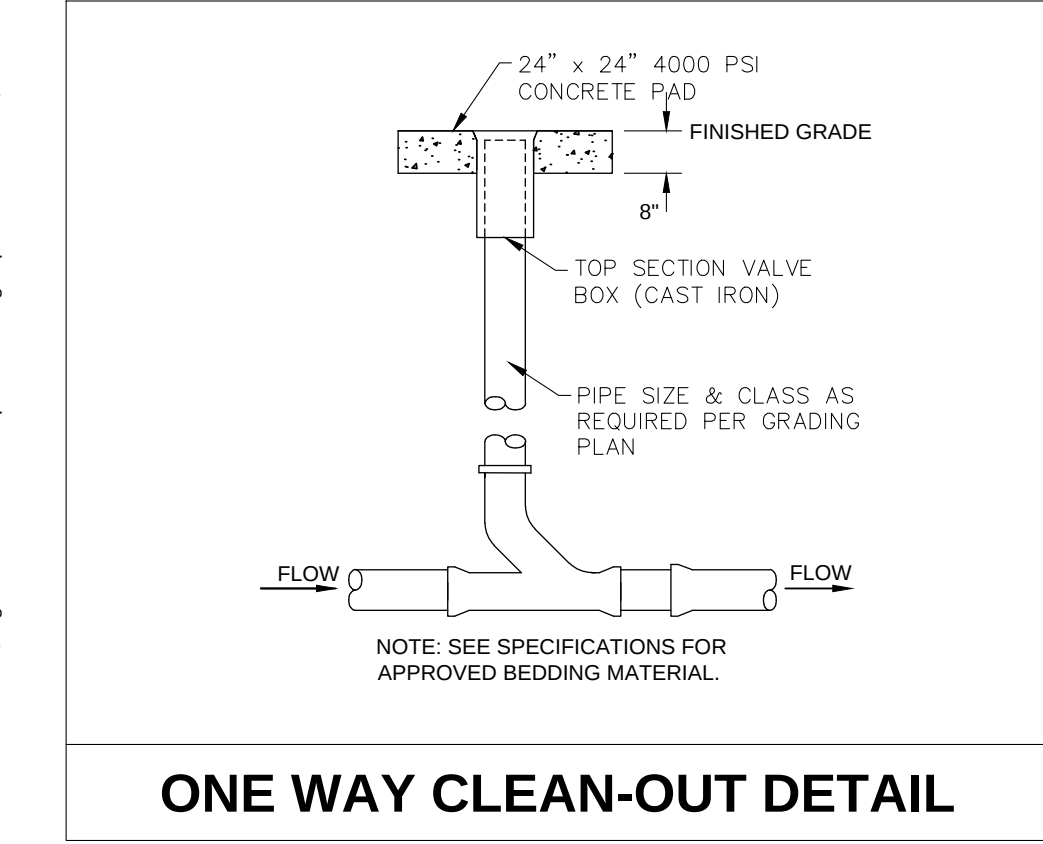
SHEET NUMBER
C2-20

WAWA UTILITY DETAILS



SPECIFICATION SHEET				
MODEL NUMBER:	PART NUMBER: 4055-007-02			
GB-250	DESCRIPTION: GB-250 GREASE INTERCEPTOR 100 GPM / 200 GPM, 4" INLET/OUTLET, H-20 RATED CAST IRON COVERS			
PROPRIETARY AND CONFIDENTIAL				
DWG BY:	C. SINCLAIR	DATE:	5/4/2022	REV: A ECO: 031125GH

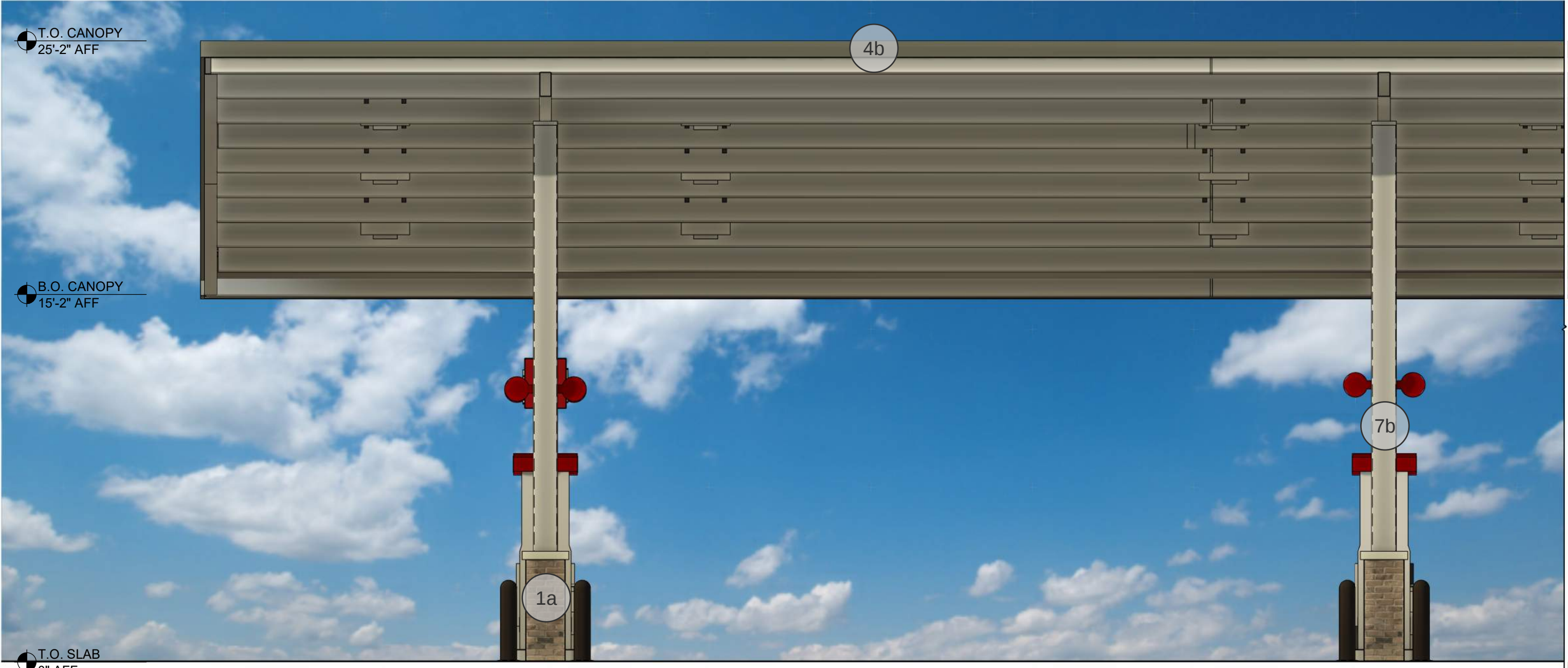
6455 Woodland Dr
Shawnee, KS 66218
Tel: 913-951-3300
Fax: 913-951-3399
schierproducts.com



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③ FUEL CANOPY ELEVATION
1/4" = 1'-0"

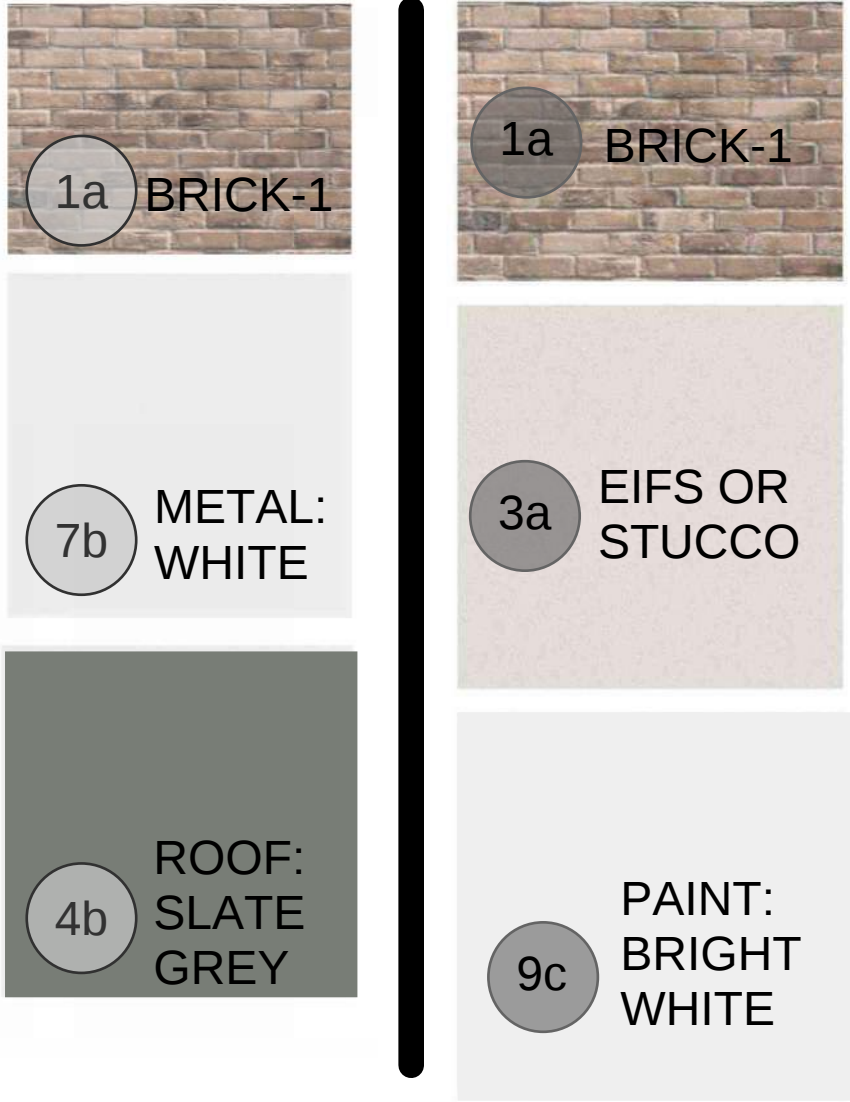


② FUEL CANOPY ELEVATION - LONG
1/4" = 1'-0"

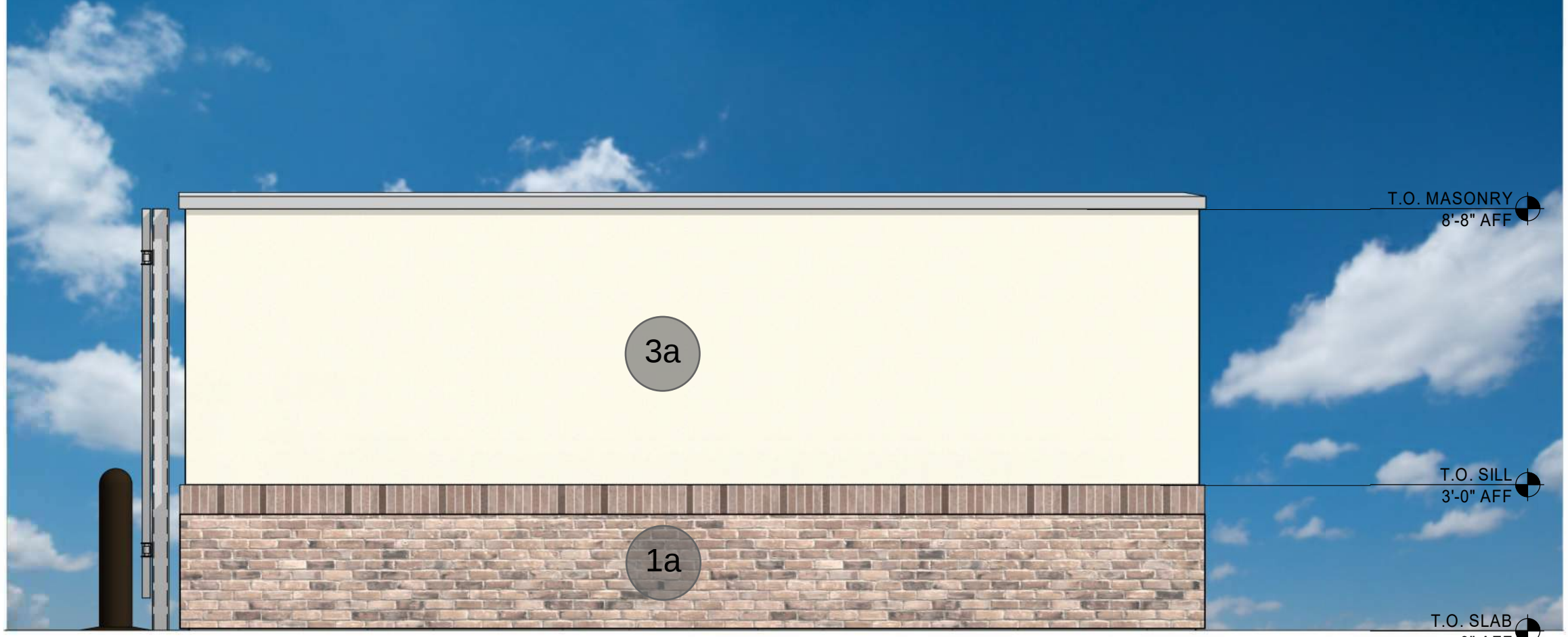


① FUEL CANOPY PERSPECTIVE

MATERIALS:

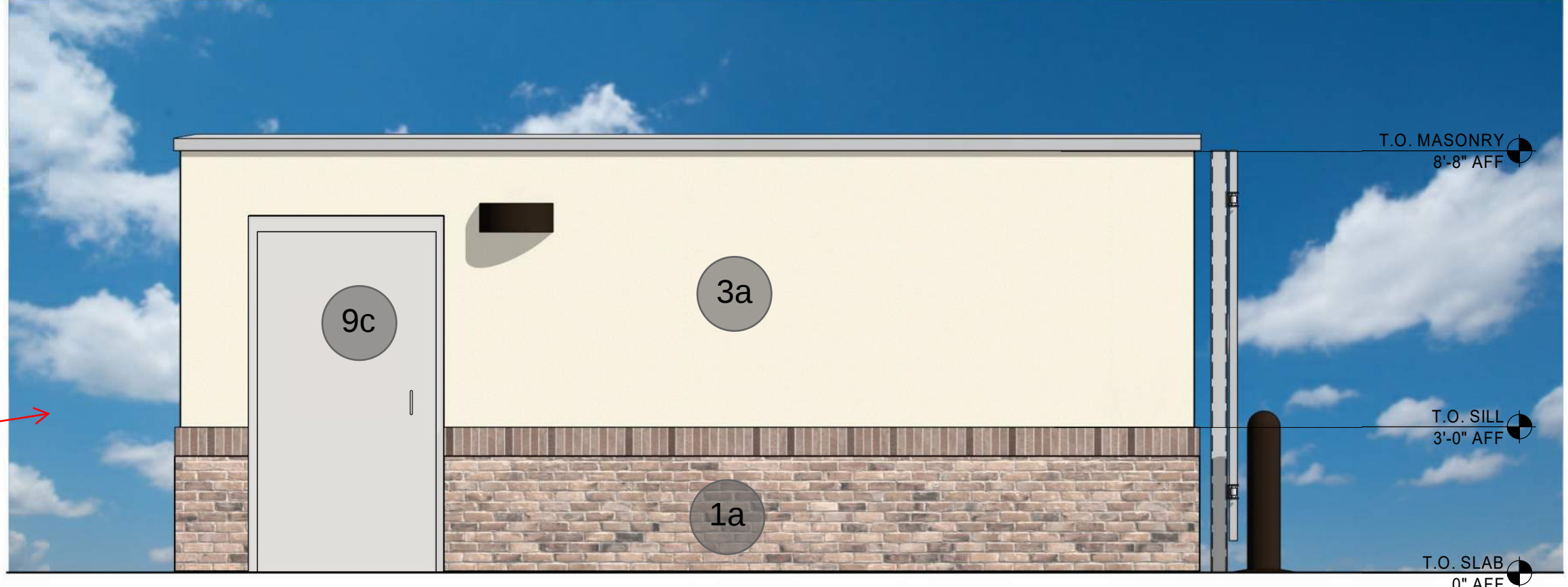


Height of wall is required to have variance. See variance request 20260102



⑦ TRASH COMPOUND RIGHT SIDE ELEVATION
3/8" = 1'-0"

MATERIAL CALS:
EIFS/ STUCCO - 118SF 65.2%
BRICK (1) - 63 SF 34.8%
TOTAL - 181 SF 100.0%



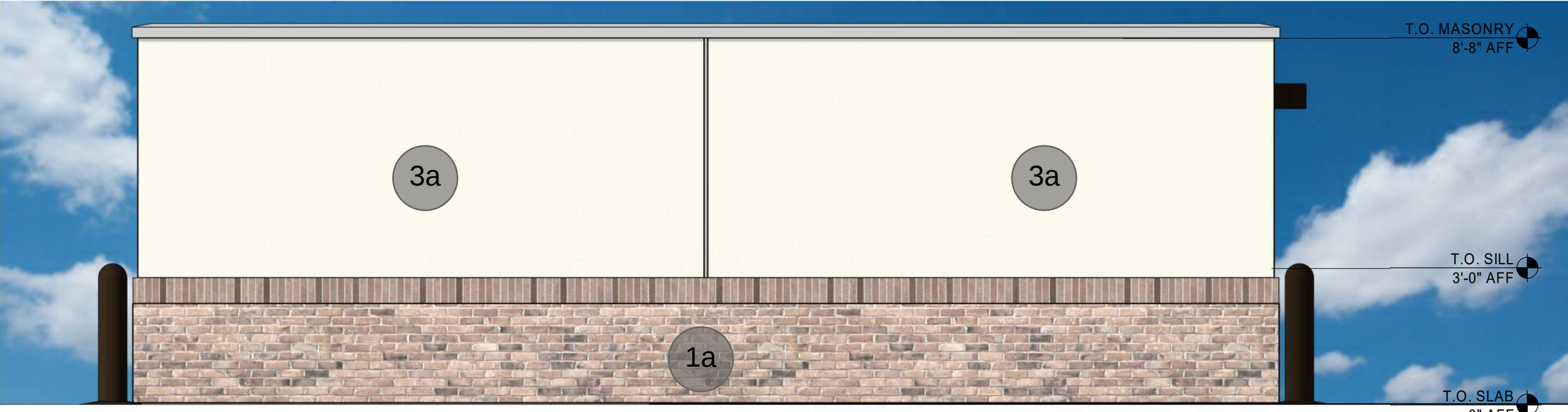
⑥ TRASH COMPOUND LEFT SIDE ELEVATION
3/8" = 1'-0"

MATERIAL CALS:
EIFS/ STUCCO - 100SF 55.4%
BRICK (1) - 51 SF 28.1%
MTL DOOR - 30SF 16.5%
TOTAL - 181 SF 100.0%



⑤ TRASH COMPOUND FRONT ELEVATION
3/8" = 1'-0"

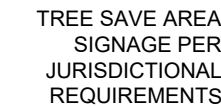
MATERIAL CALS:
EIFS/ STUCCO - 6 SF 2.9%
BRICK (1) - 4 SF 1.9%
TRASH DOOR - 192 SF 95.2%
TOTAL - 202 SF 100.0%



④ TRASH COMPOUND REAR ELEVATION
3/8" = 1'-0"

MATERIAL CALS:
EIFS/ STUCCO - 151 SF 65.1%
BRICK (1) - 81 SF 34.9%
TOTAL - 232 SF 100.0%

Drawing name: K:\NSH LDEV\118481034 - wawa covington ky\4-CADD\plansheets\L0-00 TREE PRESERVATION PLAN.dwg L0-00 TREE PRESERVATION PLAN Mar 05, 2026 4:53pm by: Blaine.Hupe



NOT TO SCALE

TREE PROTECTION FENCE NOTES:

1. REFER TO JURISDICTIONAL REQUIREMENTS FOR TREE PROTECTION FENCE MATERIAL AND SIZE. SEE NEIGHBORHOOD DEVELOPMENT CODE SECTION 04.12.3 TREE PRESERVATION.
2. TREE PROTECTION ZONES: MULCH AREAS INSIDE TREE-PROTECTION ZONES AND OTHER AREAS INDICATED. DO NOT EXCEED INDICATED THICKNESS OF MULCH.
- 2.1. APPLY 3-INCH- UNIFORM THICKNESS OF ORGANIC MULCH UNLESS OTHERWISE INDICATED. DO NOT PLACE MULCH WITHIN 6 INCHES- (150-MM) OF TREE TRUNKS.
- 2.2. INSTALL TEMPORARY ROOT-PROTECTION MATTING OVER MULCH TO THE EXTEND INDICATED.
3. TREE PROTECTION FENCING IS TO REMAIN IN PLACE FOR ENTIRE DURATION OF PROJECT. TREE PROTECTION FENCE, ONCE REMOVED, SHOULD HAVE POST HOLES FILLED IN AND COMPACTED.

2" X 6' STEEL POSTS
OR APPROVED EQUAL

1. EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE EXISTING TREES THAT ARE TO REMAIN. HEAVY EQUIPMENT AND/OR MATERIALS SHALL NOT BE PERMITTED TO OPERATE OR BE STORED WITHIN WITHIN THE DRIP-LINES OF THE TREES, OUT SIDE OF THE GRADING.
3. TREE PROTECTION STEPS:
 - a. INSTALL TREE PROTECTION FENCING
 - b. PLACE FENCE POST AND FENCING AT THE TREE DRIP LINE OR 10 FEET FROM TRUNK, WHICHEVER IS GREATER.
 - c. POST TEMPORARY SIGNS - TREE ROOT PROTECTION ZONE
4. FENCING AND SIGNS SHALL REMAIN IN PLACE UNTIL THE SITE HAS BEEN INSPECTED BY THE URBAN FORESTER FOR USE AND OCCUPANCY.
STORMWATER SIGN-OFF AND REMOVAL OF EROSION CONTROL MEASURES IS NOT JUSTIFICATION TO REMOVE TREE PROTECTION FENCING.

	TREE PROTECTION FENCE / HIGH VISIBILITY FENCE
	EXISTING TREE
	TREE TO BE REMOVED

THE FOLLOWING REQUIREMENTS APPLY TO ALL PROTECTED TREES NOT INCLUDED AS PART OF A TREE PRESERVATION CREDIT.

ANY TREE DAMAGED OR KILLED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE REMOVED AND REPLACED AT THE FOLLOWING RATES:

ANY TREE DAMAGED OR KILLED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE REMOVED AND REPLACED AT THE FOLLOWING RATES:

- TREES 8 INCHES OR GREATER DBH: AT A RATE OF 2 DIAMETER INCHES FOR EVERY DIAMETER INCH REMOVED.
- TREES LESS THAN 8 INCHES DBH: AT A RATE OF 1 DIAMETER INCH FOR EVERY DIAMETER INCH REMOVED.

PROTECTED TREES 8" OR GREATER DBH REMOVED	DBH
PROTECTED TREES LESS THAN 8" DBH REMOVED	126
REQUIRED REPLACEMENT CALIPER INCHES	0
	252

PROTECTED TREES ARE DEFINED AS THOSE THAT ARE HEALTHY, OR A NATIVE OR NON-INVASIVE SPECIES AND AN MINIMUM OF EIGHT INCHES DBH.

THE REMOVAL OF MORE THAN 40% OF UNPROTECTED TREES ON AN ENTIRE SITE OR MORE THAN 60% OF UNPROTECTED TREES WITHIN LIMITS OF CONSTRUCTION SHALL REQUIRE MITIGATION.

IF SITE IS DETERMINED TO BE RESTRICTIVE FOR PLANTING TO MEET THE REQUIREMENTS FOR TREE MITIGATION, THEN THE OWNER MAY PAY INTO THE IN-LIEU-FEE TREE MITIGATION PROGRAM AT THE COST OF \$250 PER DIAMETER INCH.

	NUMBER
TOTAL UNPROTECTED TREES ON ENTIRE SITE	18
TOTAL UNPROTECTED TREES REMOVED ON ENTIRE SITE	12
PERCENTAGE REMOVED	67%

MITIGATION IS REQUIRED

CALIPER INCHES REQUIRED FOR MITIGATION:	39
TREE MITIGATION PROGRAM IN-LIEU-FEE	9,750

SITES THAT PRESERVE TREE MAY BE GIVEN CREDIT TOWARDS THE FULFILLMENT OF LANDSCAPE REQUIREMENTS. CREDIT MAY ONLY BE GRANTED FOR PROTECTED TREES.

TREE PRESERVATION RATE OF CREDIT SHALL BE ONE CANOPY TREE FOR EVERY INCHES AT DBH OF TREE PRESERVED/RETAINED.

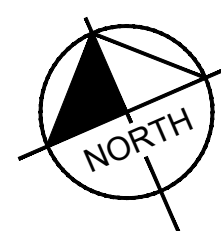
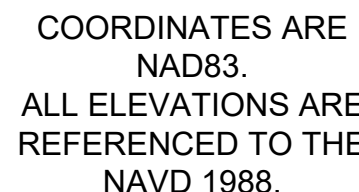
TREE PRESERVATION RATE OF CREDIT SHALL BE ONE CANOPY TREE FOR EVERY INCHES AT DBH OF TREE PRESERVED/RETAINED.

TREE PRESERVATION CREDIT SHALL BE APPLIED TOWARDS THE AREA WHERE THE TREE IS LOCATED. IF THERE ARE NO REQUIREMENTS FOR THE AREA THE CREDIT APPLIES IN THE FOLLOWING ORDER OF PRIORITY:

- SITE LANDSCAPING REQUIREMENTS
- PARKING LOT LANDSCAPING REQUIREMENTS
- BUFFERYARD REQUIREMENTS

TOTAL PROTECTED CALIPER INCHES PRESERVED:	64
TOTAL TREE PRESERVATION CREDITS:	32

SEE LANDSCAPE PLANS FOR APPLICATION OF TREE PRESERVATION CREDITS
TOWARDS FULFILLMENT OF LANDSCAPE REQUIREMENTS.



**PERMIT REVIEW
ONLY**

NO.	REVISIONS	DATE	BY
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DRAWN BY: BKH

DRAWN BY: BKH

CHECKED BY: JZ

DATE:	03/05/2025
KIMLEY-HORN PROJECT NO. 118481034	

TREE PRESERVATION
 PLAN

SHEET NUMBER
L0-00

[illegible]

LANDSCAPE REQUIREMENTS

REQUIRED PLANTING MATERIAL SIZES:
REQUIRED TREES SHALL HAVE A MINIMUM CALIPER OF 2.5 INCHES AND BE A MINIMUM OF 10 FEET IN HEIGHT. REQUIRED SHRUBS SHALL BE A MINIMUM OF 5 GALLONS IN SIZE.

VEHICULAR USE AREA INTERIOR LANDSCAPE:
AT LEAST 10% OF THE VEHICULAR USE AREA (V.U.A.) SHALL BE PLANTED.
PROPOSED V.U.A. 50,353 SF
REQUIRED: (50,353 SF) x 0.1 = 5,035 SF
PROVIDED: 6,072 SF

A MINIMUM OF 1 CANOPY TREE PER 125 SF OF REQUIRED V.U.A. INTERIOR LANDSCAPE SHALL BE INSTALLED.
REQUIRED CANOPY TREES: (5,035 SF) / 125 SF = 40 TREES
PROVIDED CANOPY TREES: 27
TREE PRESERVATION CREDITS: 13
TOTAL PROVIDED TREES: 27 + 13 = 40

NOTE: EXISTING TREES HAVE BEEN PRESERVED TO FULFILL LANDSCAPE REQUIREMENTS. SEE TREE PRESERVATION PLAN.

A MINIMUM OF 6 SHRUBS PER 25 PARKING SPACES SHALL BE INSTALLED.
PROVIDED PARKING SPACES: 45
REQUIRED: (45) / 25 x 6 = 11 SHRUBS
PROVIDED: MINIMUM OF 11 SHRUBS

EACH LANDSCAPE ISLAND SHALL BE PLANTED WITH A MINIMUM OF 1 TREE.

NOTE: REQUIRED LANDSCAPE ISLAND TREES WITH SITE CONFLICTS HAVE BEEN PROVIDED IN ALTERNATIVE LOCATIONS.

SITE AREA LANDSCAPING:
1 CANOPY (OR ORNAMENTAL) TREE AND 6 SHRUBS PER 1,000 SF. OF SITE LANDSCAPING AREA. REMAINING AREA TO BE PLANTED WITH GROUNDCOVER.
SITE LANDSCAPE AREA: 19,112.5 SF

REQUIRED CANOPY TREES: (19,112) / 1,000 = 19
TREE PRESERVATION CREDITS: 19
REQUIRED SHRUBS: (21,609) / 1,000 x 6 = 130
PROVIDED SHRUBS: MINIMUM OF 130 SHRUBS

VEHICULAR USE AREA SCREENING FROM STREET:
VEHICULAR USE AREA SCREENING FROM ADJACENT STREETS SHALL INCLUDE SHRUBS SPACED 36" O.C. AND 1 TREE PER 25 L.F. OF BUILDING WIDTH.
TOTAL BUILDING WIDTH ALONG PLANTING AREAS: 163 LF
REQUIRED TREES: (163) / 25 = 7
PROVIDED TREES: 7

FOUNDATION PLANTINGS:
1 CANOPY TREE OR 2 ORNAMENTAL TREES PER 30 L.F. OF FOUNDATION PLANTING AREA ALONG STREET FRONT, STREET SIDE, AND INTERIOR SIDE.
MINIMUM FOUNDATION PLANTING AREA DEPTH OF 10' ALONG STREETS, 10' ALONG INTERIOR, 20' ALONG REAR.
TOTAL FOUNDATION PLANTING AREA LENGTH: 163 LF
REQUIRED TREES: (163) / 30 = 6
PROVIDED CANOPY TREES: 4
PROVIDED ORNAMENTAL TREES: 2
TOTAL PROVIDED TREES: 4 + (2) = 6

NOTE: REQUIRED FOUNDATION PLANTING AREA AND VEGETATION HAVE BEEN PROVIDED IN ALTERNATIVE LOCATIONS DUE TO SITE CONFLICTS AND TO PROVIDE ENHANCED CLEANLINESS, SAFETY, AND SITE FUNCTION. ADDITIONAL SHRUBS HAVE BEEN PROVIDED TO FULFILL FOUNDATION PLANTING REQUIREMENT INTENT.

TREE PRESERVATION CREDITS

SITES THAT PRESERVE TREES MAY BE GIVEN CREDIT TOWARDS THE FULFILLMENT OF LANDSCAPE REQUIREMENTS. CREDIT MAY ONLY BE GRANTED FOR PROTECTED TREES.

TREE PRESERVATION RATE OF CREDIT SHALL BE ONE CANOPY TREE FOR EVERY 2 INCHES AT DBH OF TREE PRESERVED/RETAINED.

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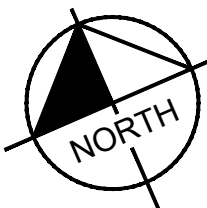
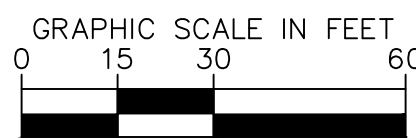
- SITE LANDSCAPING REQUIREMENTS
- PARKING LOT LANDSCAPING REQUIREMENTS
- BUFFERYARD REQUIREMENTS

TOTAL PROTECTED CALIPER INCHES PRESERVED:	64
TOTAL TREE PRESERVATION CREDITS:	32

SEE LANDSCAPE PLANS FOR APPLICATION OF TREE PRESERVATION CREDITS TOWARDS FULFILLMENT OF LANDSCAPE REQUIREMENTS.



COORDINATES ARE
NAD83.
ALL ELEVATIONS ARE
REFERENCED TO THE
NAVD 1988.



Kimley»»Horn

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REVISIONS		DATE	BY
No.	1		
	2		
	3		
	4		
	5		
	6		
	7		
	8		
	9		
	10		
DESIGNED BY:		BKH	
DRAWN BY:		BKH	
CHECKED BY:		CA	
DATE:		03/05/2025	
KIMLEY-HORN PROJECT NO. 118481034			
LANDSCAPE PLAN			
SHEET NUMBER			
L1-00			

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GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

- 1.01 SCOPE OF WORK
- A. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.

B. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

C. THE CONTRACTOR SHALL CONTACT THE OWNER AND KENTUCKY ONE CALL AT 811 OR (800) 752-6007, TWO (2) FULL BUSINESS DAYS PRIOR TO THE BEGINNING OF WORK.

D. THE CITY MUST APPROVE ALL WORK HOURS AND LANE CLOSURE REQUESTS AT LEAST TWO (2) FULL WORKING DAYS IN ADVANCE OF THE START OF ANY SUCH WORK ON A LOCATION BY LOCATION BASIS. THE INDIVIDUAL(S) INSTALLING THE MAINTENANCE OF TRAFFIC SETUP SHALL HAVE COMPLETED A KYTC APPROVED WORK ZONE TRAFFIC CONTROL TRAINING COURSE. DOCUMENTATION SHALL BE FURNISHED TO THE CITY AT THE PRE-CONSTRUCTION MEETING OR PRIOR TO START OF WORK.

E. ALL LANDSCAPE MATERIAL SHALL BE INSTALLED AND MAINTAINED IN A MANNER WHEREBY TRAFFIC CONTROL SIGNAGE AND DEVICES ARE VISIBLE TO MOTORISTS AND PEDESTRIANS.
- 1.02 PROTECTION OF EXISTING STRUCTURES
- A. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND AT NO COST TO THE OWNER.

B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES ACCORDING TO KYTC, COUNTY, OR CITY STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.

C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA, AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF COMPLIANCE WITH THIS SECTION WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- 1.03 PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK
- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIPLINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIPLINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
- 1.04 MATERIALS
- A. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE LANDSCAPE ARCHITECT. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL

MULCH

TOPSOIL MIX

PLANTS

SAMPLE SIZE

ONE (1) CUBIC FOOT

ONE (1) CUBIC FOOT

ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
- B. PLANT MATERIALS
1. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS SET FORTH IN ANSI Z60.1-2014-AMERICAN STANDARD FOR NURSERY STOCK. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT.

2. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE ROOTBALL OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

3. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
- 1.05 SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)
- A. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF ¾ LOOSE COMPOST (NO GREATER THAN 1" SIV), ¼ PEAT AND ¼ SAND, AS DESCRIBED BELOW.

B. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.0. SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.

C. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR APPROVAL BY THE OWNER.

D. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE, AT WHICH POINT THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

E. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
- 1.06 WATER
- A. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- 1.07 FERTILIZER
- A. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- 1.08 MULCH
- A. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES FOR ALL PLANTINGS UNLESS OTHERWISE NOTED. MULCH AT ALL PLANTING BEDS SHALL BE TRIPLE SHREDDED HARDWOOD.
- 1.09 DIGGING AND HANDLING
- A. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT.

B. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

C. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES. ALL TREES SHALL BE PLANTED AS INDICATED ON DRAWINGS. COORDINATE WITH PLANTING DETAILS FOR EXACT DEPTH OF PLANTING SOIL.
- 1.10 CONTAINER GROWN STOCK
- A. ALL TREES SPECIFIED SHALL BE BALL AND BURLAP, UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.

B. ALL SHRUB SPECIES SHALL BE CONTAINER GROWN.

C. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.

D. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

E. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.
- 1.11 MATERIALS LIST
- A. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.
- 1.12 FINE GRADING
- A. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.

B. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

C. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

- 1.13 PLANTING PROCEDURES
- A. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL, WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

B. SUBGRADE EXCAVATION: THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36" AT TREES AND 18" AT SHRUBS AND PERENNIALS. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISH GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" AND DEEP EXCAVATION BY THE CONTRACTOR AND POSITIVE DRAINAGE CANNOT BE ACHIEVED, THE CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.

C. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CONTACT KENTUCKY ONE CALL AT 811 OR (800) 752-6007, TO LOCATE ALL UTILITIES.

D. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

E. GENERAL COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

F. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.

G. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 - AMERICAN STANDARD FOR NURSERY STOCK, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION 1.05. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.

H. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

I. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 1.05 OF THESE SPECIFICATIONS.

J. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).

K. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOW ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 12", REMOVE AND DISPOSE ALL DEBRIS. COORDINATE WITH PLANTING DETAILS FOR EXACT DEPTH. MIX TOP 4" OF THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION 1.05. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

L. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

M. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER (AS ALLOWED BY JURISDICTIONAL AUTHORITY).
- 1.14 LAWN SODDING
- A. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.

B. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.

C. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

D. SODDING

1. THE CONTRACTOR SHALL SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS NOT COVERED BY HARDSCAPE OR VEGETATIVE MATERIAL, UNLESS SPECIFICALLY NOTED OTHERWISE.

2. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

3. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

E. LAWN MAINTENANCE

1. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING RE-GRADING IF NECESSARY).

2. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.
- 1.15 CLEANUP
- A. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- 1.16 PLANT MATERIAL MAINTENANCE
- A. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
- 1.17 FINAL INSPECTION AND ACCEPTANCE OF WORK
- A. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
- 1.18 WARRANTY
- A. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.

B. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION DURING THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED WITHIN TEN (10) DAYS OF NOTICE, OR BETWEEN SEPTEMBER-NOVEMBER, MARCH-MAY. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.

C. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

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WAWA STANDARD LANDSCAPING SPECIFICATIONS:

1.

ALL TOPSOIL SHALL BE A MINIMUM OF 4" IN ALL SOD AREAS AND 8" IN TREE, SHRUB AND GROUND COVER BEDS, INCLUDING PARKING LOT ISLAND BEDS. IT SHALL BE APPROVED BY A WAWA CONSTRUCTION REPRESENTATIVE, PRIOR TO INSTALLATION.
2.

PLANTING BEHIND PERPENDICULAR PARKING IS TO BE LOCATED A MINIMUM OF 5' BEHIND THE CURB LINE.
3.

ALL LANDSCAPE AND GRASS AREAS ARE TO BE HAND RAKED AND LEFT CLEAR OF ALL STONES, ROCK, CONSTRUCTION DEBRIS AND ANY UNSUITABLE MATERIALS.
4.

ALL LANDSCAPE AND GRASS AREAS ARE TO BE IRRIGATED BY AUTOMATIC SPRINKLER SYSTEM. (SEE IRRIGATION SPECIFICATION.)
5.

LANDSCAPE CONTRACTOR WILL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND PLANTING INSTALLATION.
6.

ALL AREAS TO BE LANDSCAPED OR COVERED WITH STONE MUST BE TREATED WITH A PRE-EMERGENCE HERBICIDE (SURFLAN, DACTAL OR APPROVED EQUAL) IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE REGULATIONS AND THE MANUFACTURER'S INSTRUCTIONS.
7.

MULCH BEDS ARE TO BE DELINEATED WITH HAND OR MACHINE DUG SHOVEL EDGING.
8.

RIVER ROCK BEDS ARE TO BE DELINEATED WITH 5 1/2" ALUMINUM LANDSCAPE EDGING, STAKED AT 3' INTERVALS. ALUMINUM EDGING IS TO BE CLEANLINE 3/8" X 5 1/2" X 16' BE PERMALOC. (800-356-9660, //WWW.PERMALOC.COM.) FOLLOW MANUFACTURERS INSTALLATION DIRECTIONS INCLUDED AT THE END OF THIS SECTION.
9.

LANDSCAPE CONTRACTOR TO SUPPLY AND INSTALL A PERVIOUS WEED BARRIER (DEWITT, DUPONT OR APPROVED EQUAL) IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITHIN ALL LANDSCAPES, INCLUDING STONE AND MULCH BEDS. ALL WEED BARRIER WILL BE OVERLAPPED A MINIMUM OF 6" AT ALL SEAMS. AT PLANT LOCATIONS, BARRIER SHOULD BE CUT IN AN "X" PATTERN SO TO ACCOMMODATE ROOT BALL AND REPLACED AFTER PLANT HAS BEEN INSTALLED.
10.

WEED BARRIER SHALL NOT BE VISIBLE IN AREAS DESIGNATED FOR STONE MULCH. WHEN STONE IS CALLED FOR ADJACENT TO CURB OR SIDEWALKS, IT SHALL BE FEATHERED DOWN TO CURB LEVEL FROM A DISTANCE 24" FROM THE CURB.
11.

ALL PROPOSED LANDSCAPING TO BE NURSERY GROWN, TYPICAL OF THEIR SPECIES OR VARIETY. THEY ARE TO HAVE NORMAL VIGOROUS ROOT SYSTEMS, FREE FROM DEFECTS AND INFECTIONS AND IN ACCORDANCE WITH ANSI Z60.1.
12.

ALL PROPOSED PLANTINGS SHOULD BE INSTALLED PER STANDARDS OF THE "AMERICAN ASSOCIATION OF NURSERYMEN" AND STATE NURSERY/LANDSCAPE ASSOCIATIONS WITH REGARD TO PLANTING, PIT SIZE, BACKFILL MIXTURE, STAKING AND GUYING.
13.

ALL PLANTING CONTAINERS AND BASKETS SHALL BE REMOVED DURING PLANTING. ALL PLANTS SHALL BE SET PLUMB AND POSITIONED SO THAT THE TOP OF THE ROOT COLLAR MATCHES, OR IS NO MORE THAN TWO (2") INCHES ABOVE, FINISHED GRADE. REPLACE AMENDED BACKFILL IN 6-INCH LAYERS AND COMPACT BACKFILL TO ELIMINATE VOIDS. CONTRACTOR SHALL PROVIDE A FOUR-INCH HIGH EARTHEN WATERING SAUCER ALONG THE PERIMETER OF EACH PLANTING PIT. CONTRACTOR SHALL WATER NEWLY PLANTED VEGETATION PRIOR TO MULCHING PLANTING PIT. ALL VOIDS SHALL BE FILLED AND SETTLLING MITIGATED AS REQUIRED. ALUMINUM EDGING SHALL BE INSTALLED AROUND ALL PLANTING AREAS TO DELINEATE BETWEEN DIFFERENT LANDSCAPE MATERIALS.
14.

AFTER INITIAL WATERING AND PRIOR TO MULCHING, CONTRACTOR SHALL APPLY HERBICIDES AND PRE-EMERGENT HERBICIDES AS REQUIRED TO ELIMINATE ANY WEED SEEDS OR PLANTS PRESENT ON ROOT BALL.
15.

ALL PLANTING BEDS AND PITS EXCEPT FOR LANDSCAPE ISLANDS ADJACENT TO THE BUILDING AND DESIGNATED AREA AT THE FUEL VENT STACKS, SHALL BE MULCHED WITH DOUBLE GROUND HARDWOOD MULCH AT A MINIMUM DEPTH OF 3". LANDSCAPE ISLANDS ADJACENT TO DESIGNATED AREA AT FUEL STACKS SHALL BE MULCHED WITH 1"-3" "RIVER STONE" MULCH. FOR LANDSCAPES ADJACENT TO BUILDING, CONTACT WAWA'S PROJECT ENGINEER.
16.

TURF SPECIFICATION AND SEEDBED PREPARATION

A.

UNLESS REQUIRED FOR PARTICULAR BMP AREAS, ALL TURF ON WAWA LEASED PREMISES IS TO BE SOD. WHEN REQUIRED FOR BMP'S, SEED MIX IS TO MEET LOCAL REQUIREMENTS. SOD SHALL BE TURF TYPE TALL FESCUE AND INSTALLED ON A MINIMUM OF 4" OF TOPSOIL.

B.

APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS OR FERTILIZER MAY BE APPLIED AT THE RATE OF 260 POUNDS PER ACRE OR 6 POUNDS PER 1000 SQUARE FEET USING 10-20-10 OR EQUIVALENT. IN ADDITION, 300 POUNDS 4-1-2 PER ACRE OR EQUIVALENT OF SLOW-RELEASE NITROGEN MAY BE USED IN LIEU OF TOPDRESSING.

C.

WORK LIME AND FERTILIZER INTO THE SOIL AS PRACTICAL TO A DEPTH OF 4-INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD PARALLEL TO THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM, FINE SEEDBED IS PREPARED. ALL BY CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.

D.

INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS OUTLINED BELOW.

E.

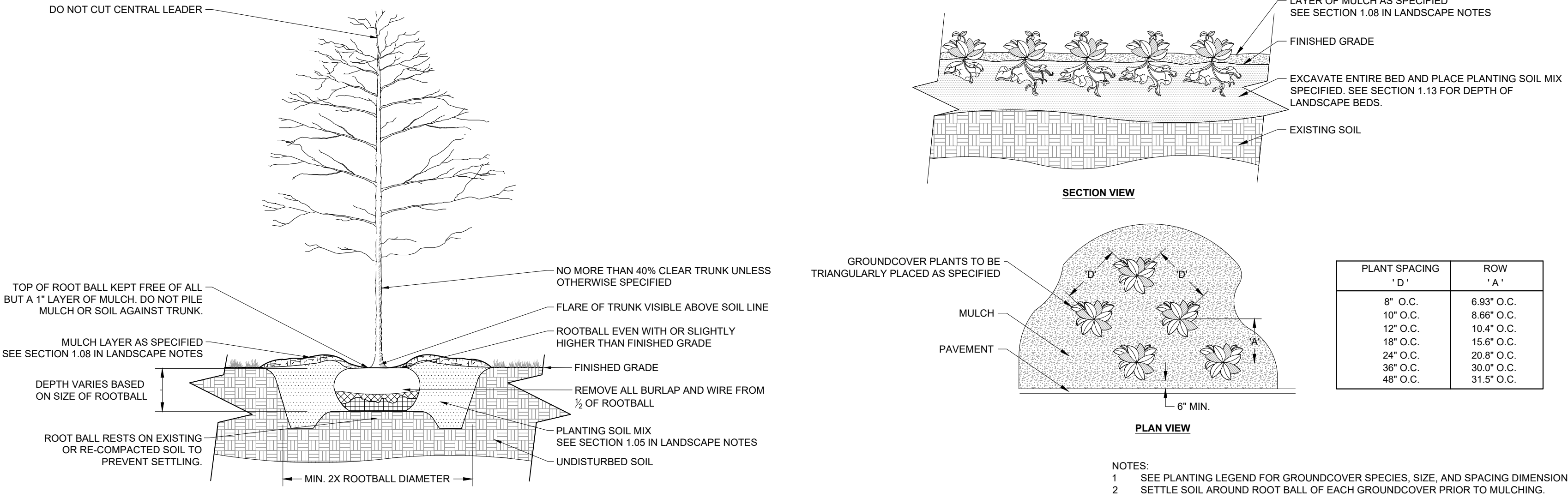
GRASS SEEDING MIXTURE AND APPLICATION RATE:

PERCENTAGE OF TOTAL WEIGHT	APPLICATION RATE	SEED TYPE	MINIMUM GERMINATION ALLOWED
60%	5-7 LBS/1000 S.F.	"REBEL" TALL DESCUE	90-97
35%		"YORKTOWN" PERENNIAL RYE	90-98
5%		"STREEKER" REDTOP	90-92

F.

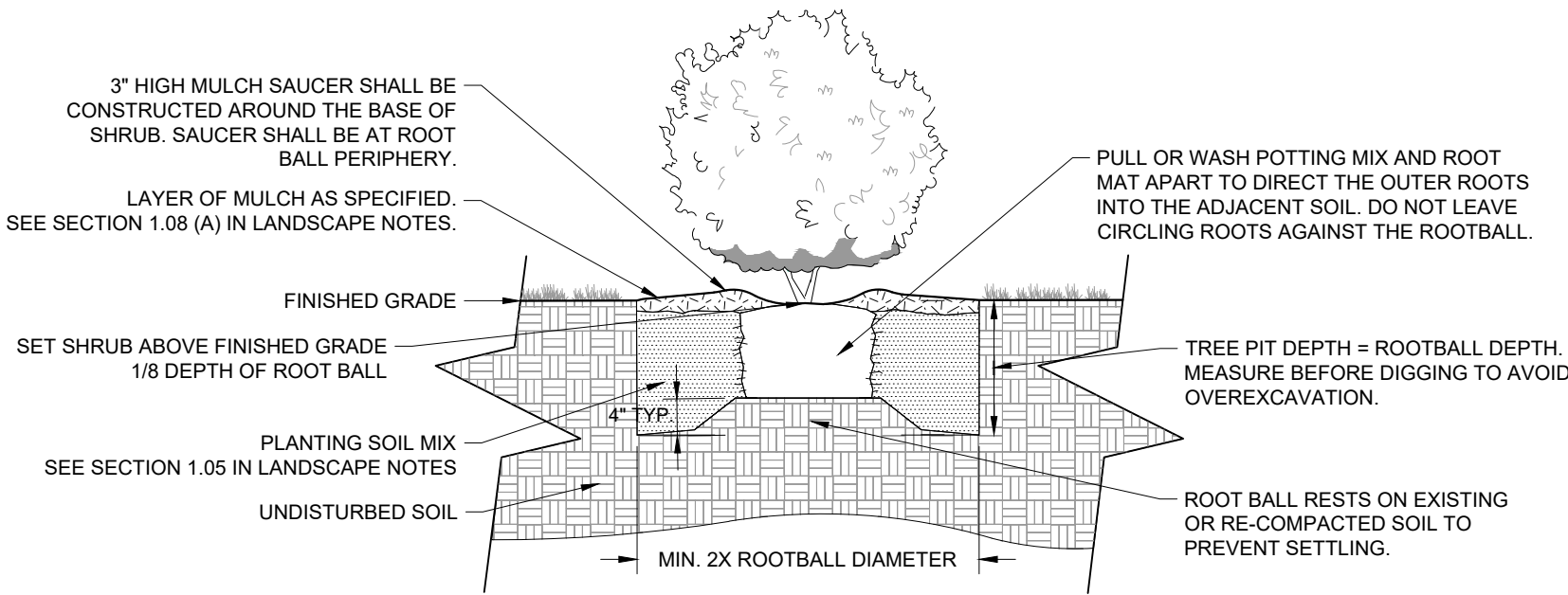
IN AREAS DESIGNATED AS SOD, FESCUE SOD IS TO BE INSTALLED ON MINIMUM 4" TOPSOIL. AREAS TO BE SODDED AREA TO BE PREPARED AS NOTED FOR ABOVE SEEDED AREAS.
17.

PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETENESS. THE CONTRACTOR SHALL REPLACE PLANTS, DEAD, UNHEALTHY, DYING OR DAMAGED THROUGH LOSS OF BRANCHES AND/OR FOLIAGE. LAWNS THAT ARE NOT IN GOOD CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REPAIRED UNTIL A GOOD LAWN RESULTS. IT IS UNDERSTOOD THAT THE OWNER SHALL ASSUME RESPONSIBILITY FOR WATERING ALL PLANT MATERIAL AND LAWN AREA BEGINNING WITH THE DATE OF SUBSTANTIAL COMPLETENESS.



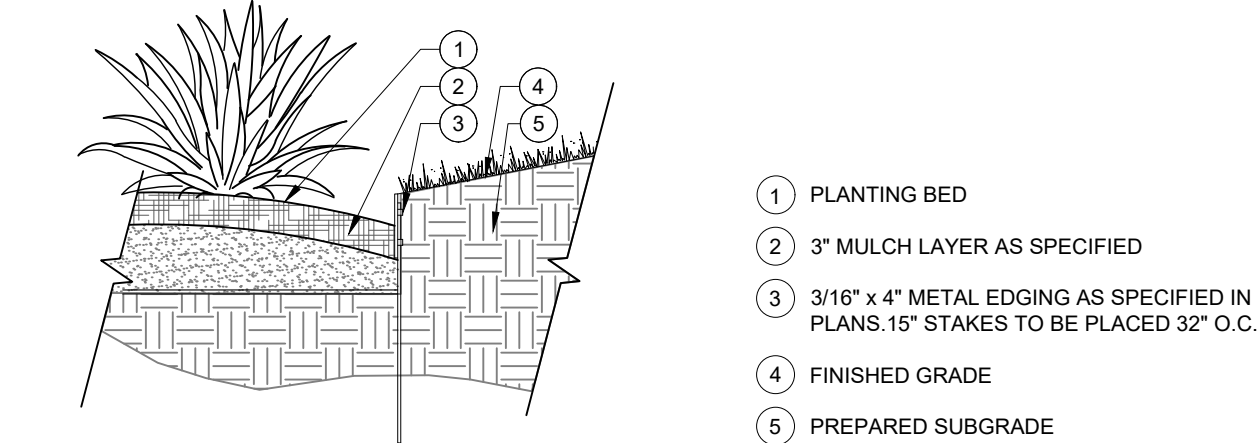
1 B&B TREE PLANTING

NOT TO SCALE



2 GROUNDCOVER PLANTING

NOT TO SCALE



3 CONTAINER SHRUB PLANTING

NOT TO SCALE

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	ROOT	CONDITION
CANOPY TREES							
	GB	6	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	AS SHOWN	2.5" CAL. 12'-14' MIN. HT.	B&B STRAIGHT CENTRAL LEADER, FULL CANOPY, MATCHED
	GT	13	GLEDTISIA TRIACANTHOS 'DRAVES'	STREET KEEPER HONEYLOCUST	AS SHOWN	2.5" CAL. 12'-14' MIN. HT.	B&B 5' CLEAR, STRAIGHT LEADER, FULL CANOPY, MATCHED
	NS	10	NYSSA SYLVATICA 'WFH1'	TUPELO TOWER™ SOUR GUM	AS SHOWN	2.5" CAL. 12'-14' MIN. HT.	B&B FULL CANOPY, MATCHED
	QP	8	QUERCUS PHELLOS	WILLOW OAK	AS SHOWN	2.5" CAL. 12'-14' MIN. HT.	B&B STRAIGHT CENTRAL LEADER, FULL CANOPY, MATCHED
UNDERSTORY TREES							
	MV	4	MAGNOLIA VIRGINIANA	SWEET BAY	AS SHOWN	2" CAL.; 10' MIN. HT.	B&B STRAIGHT CENTRAL LEADER, FULL CANOPY, MATCHED
DECIDUOUS SHRUBS							
	AG	61	ABELIA X GRANDIFLORA	GLOSSY ABELIA	3' O.C.	18" MIN. HT.	5 GAL. MATCHED, FULL, FREE OF WEEDS
	SJ	75	SPIRAEA JAPONICA 'ANTHONY WATERER'	ANTHONY WATERER JAPANESE SPIREA	3' O.C.	18" MIN. HT.	5 GAL. MATCHED, FULL, FREE OF WEEDS
EVERGREEN SHRUBS							
	IC	56	ILEX CRENATA 'HELLER'	HELER JAPANESE HOLLY	3' O.C.	18" MIN. HT.	5 GAL. MATCHED, FULL, FREE OF WEEDS
	PL	92	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN ENGLISH LAUREL	4' O.C.	30" MIN. HT.	5 GAL. MATCHED, FULL, FREE OF WEEDS
GROUND COVERS							
	HO	380	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	18" O.C.		1 GAL. MATCHED, FULL, FREE OF WEEDS
	JW	52	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	48" O.C.		1 GAL. MATCHED, FULL, FREE OF WEEDS
	LM	121	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	18" O.C.		1 GAL. MATCHED, FULL, FREE OF WEEDS
	RR	1,352 SF	RIVER ROCK	CONTRACTOR TO PROVIDE SAMPLE TO LA ARCH.	-	3" - 5" ASSORTED FLATS & ROUNDS	- NEUTRAL COLOR
	TF	13,290 SF	TALL FESCUE SOD	-	SOD	ROLLS OR SQUARES	SOD/TURF TIGHT, SAND ROLLED JOINTS, FREE OF WEEDS & DEBRIS

PERMIT REVIEW ONLY

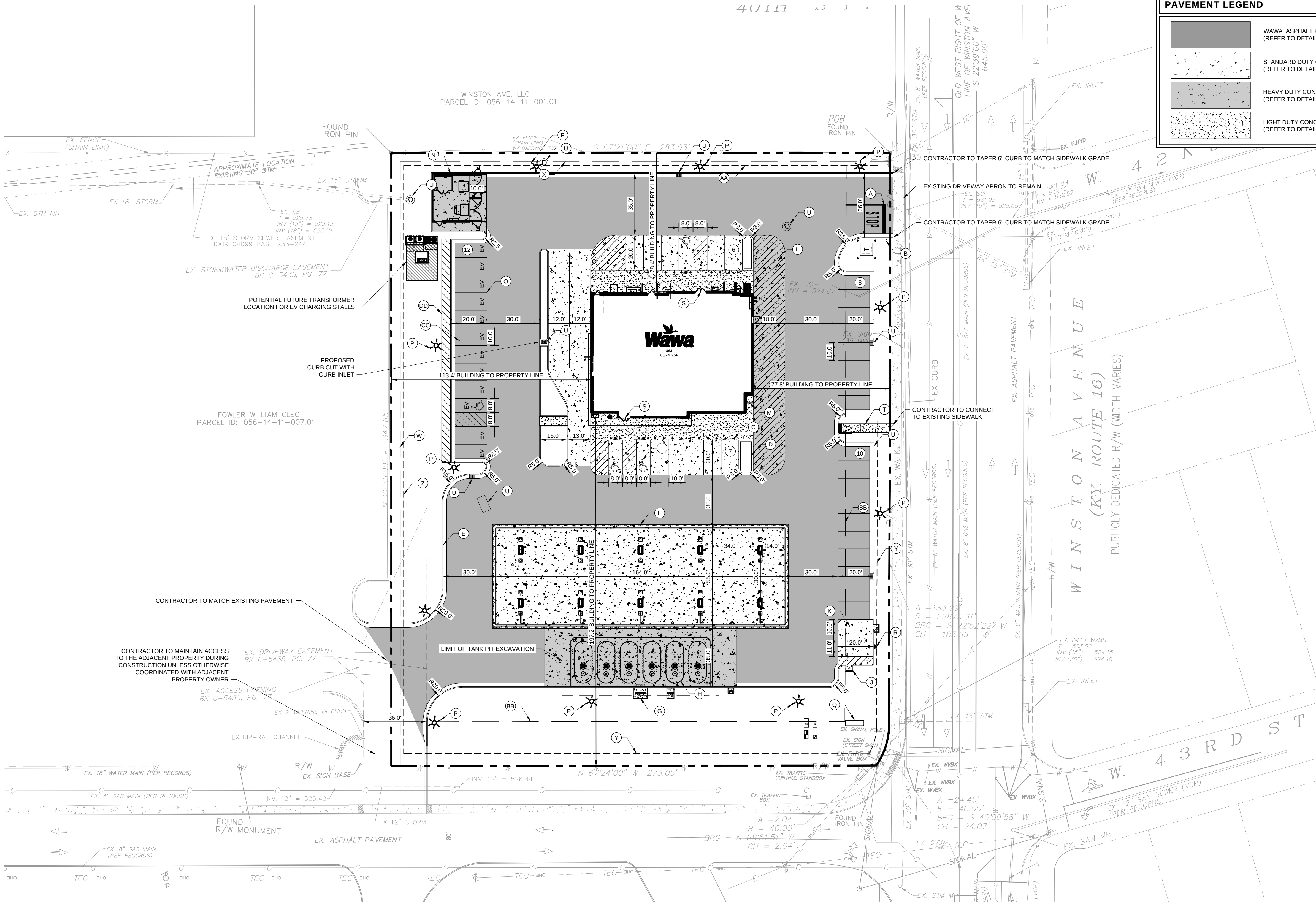
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WAWA #7635
HUTTON COVINGTON KY
ST, LLC
WINSTON AVE AND W 43RD ST
COVINGTON, KY

BY	DATE	REVISIONS	No.	1	2	3	4	5	6	7	8	9	10
DESIGNED BY:			BKH										
DRAWN BY:			BKH										
CHECKED BY:			CA										
DATE:			03/05/2025										
KIMLEY-HORN PROJECT NO.			118481034										
LANDSCAPE NOTES & DETAILS													
SHEET NUMBER			L1-51										

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PAVEMENT LEGEND	
	WAWA ASPHALT PAVEMENT (REFER TO DETAIL ON SHEET C8-11)
	STANDARD DUTY CONCRETE (REFER TO DETAIL ON SHEET C8-11)
	HEAVY DUTY CONCRETE (REFER TO DETAIL ON SHEET C8-11)
	LIGHT DUTY CONCRETE (REFER TO DETAIL ON SHEET C8-11)

SITE PLAN KEYNOTE LEGEND

A	12" PAINTED STOP BAR
B	R1-1 STOP SIGN. SEE DETAIL ON SHEET C8-11
C	6" CONCRETE PIPE BOLLARDS (TYP.) SEE DETAIL ON SHEET C8-11
D	WAWA MOUNTABLE CURB (TYP.) SEE DETAIL ON ON SHEET C8-11
E	PROPOSED 6" CURB AND 2" GUTTER, TYP.
F	GASOLINE CANOPY WITH 10 MPDS, 20 PUMPS
G	VENT STACK WITH REMOTE E-STOP (6'X8' CONC. PAD WITH 3 BOLLARDS)
H	(6) 12K GALLON UST'S
I	PROPOSED ADA PARKING SPACE. SEE DETAIL SHEETS FOR PARKING SPACE SIGN AND SYMBOL
J	4'X3' AIR MACHINE PAD WITH 2 BOLLARDS. SEE DETAIL ON SHEET C8-11
K	(2) AIR MACHINE SPOTS. SEE DETAIL ON SHEET C8-11
L	PROPOSED LOADING ZONE. 2,400 SF
M	PROPANE KIOSK. REFER TO ARCH PLANS FOR DETAIL
N	PROPOSED DUMPSTER ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS
O	PROPOSED 4" YELLOW PAINT STRIPING (TYP.)
P	PROPOSED SITE LIGHTING. SEE LIGHTING PLAN FOR DETAILS
Q	PROPOSED P-50 D/F ILLUMINATED PYLON SIGN. HEIGHT: 20'. AREA: 47 SF
R	AIR PUMP PARKING ONLY SIGN
S	BUILDING DOOR (TYP.). SEE ARCH. PLANS
T	PROPOSED 5' CONCRETE SIDEWALK (TYP)
U	PROPOSED STORM STRUCTURE. SEE SHEET C4-00 FOR DETAILS
V	0' ROW BUILDING SETBACK
W	5' SIDE BUILDING SETBACK
X	5' REAR BUILDING SETBACK
Y	7' ROW LANDSCAPE SETBACK
ZA	7' SIDE LANDSCAPE SETBACK
ZB	7' REAR LANDSCAPE SETBACK
CC	25' GASOLINE CANOPY SETBACK
DD	(12) POTENTIAL FUTURE EV CHARGING SPOTS
EE	AREA RESERVED FOR FUTURE EV INFRASTRUCTURE

SITE DATA TABLE

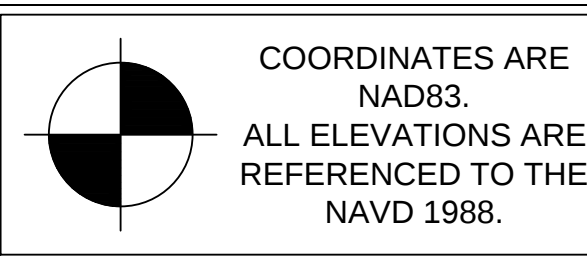
PROPERTY INFORMATION:	
SITE LOCATION:	4299 WINSTON AVENUE COVINGTON, KENTUCKY 41015
GROSS SITE AREA	98,253 SF (2.26 AC)
PROPOSED IMPERVIOUS AREA	71,587 SF (1.64 AC)
EXISTING IMPERVIOUS AREA	75,853 SF (1.74 AC)
PROPOSED BUILDING AREA	6,374 SF
PROPOSED FAR:	0.065
PARKING DATA:	
MIN. REQUIRED PARKING	19 STALLS
ADA PARKING PROVIDED	4 STALLS
TOTAL PARKING PROVIDED	43 STALLS
ZONING:	
EXISTING USE	(AUTO-URBAN COMMERCIAL) AUC
PROPOSED USE	COMMERCIAL
SURROUNDING ZONING (NORTH)	GAS/CONVENIENCE STORE (AUTO-URBAN COMMERCIAL) AUC
SURROUNDING ZONING (WEST)	(SUBURBAN INDUSTRIAL) SI
SURROUNDING ZONING (EAST)	(SEMI-URBAN RESIDENTIAL) SU
SURROUNDING ZONING (SOUTH)	(AUTO-URBAN COMMERCIAL) AUC
REQUIRED BUILDING SETBACKS:	
R.O.W (SOUTH)	0 FT
REAR (NORTH)	5 FT
SIDE (WEST)	5 FT
R.O.W (EAST)	0 FT

SITE LAYOUT NOTES

- INSTALL CONCRETE JOINTS WHERE SHOWN ON DETAILS. ALIGN ON WALLS, BUILDINGS, RADI, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
- LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- LAYOUT ALL ELEMENTS IN FIELD AND CONTACT OWNER'S REPRESENTATIVE FOR APPROVAL BEFORE BEGINNING ANY CONSTRUCTION.
- CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
- ALL LANDSCAPE ISLANDS SHALL BE MOUNDED WITH TOPSOIL 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
- ALL ENTRY GATES SHALL MEET THE REQUIREMENTS OF SECTION D 103.5 OF THE INTERNATIONAL FIRE CODE (2012)
- REMOVE ANY VEGETATION THAT OBSTRUCTS PROPER SIGHT DISTANCE.
- ALL FENCING SHALL BE CONSTRUCTED SO AS NOT TO OBSTRUCT ADEQUATE SIGHT DISTANCE.

PAVING NOTES

- EXPANSION JOINTS SHOULD BE USED WHEREVER THE PAVEMENT WILL ABUT A STRUCTURAL ELEMENT SUBJECT TO DIFFERENT MAGNITUDE OF MOVEMENT, E.G. LIGHT POLES, RETAINING WALLS, EXISTING PAVEMENT, STAIRWAYS, ENTRYWAY PIERS, BUILDING WALLS, MANHOLES.
- WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE/INVERTED GUTTER PITCH.



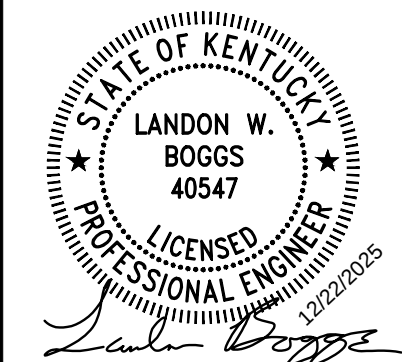
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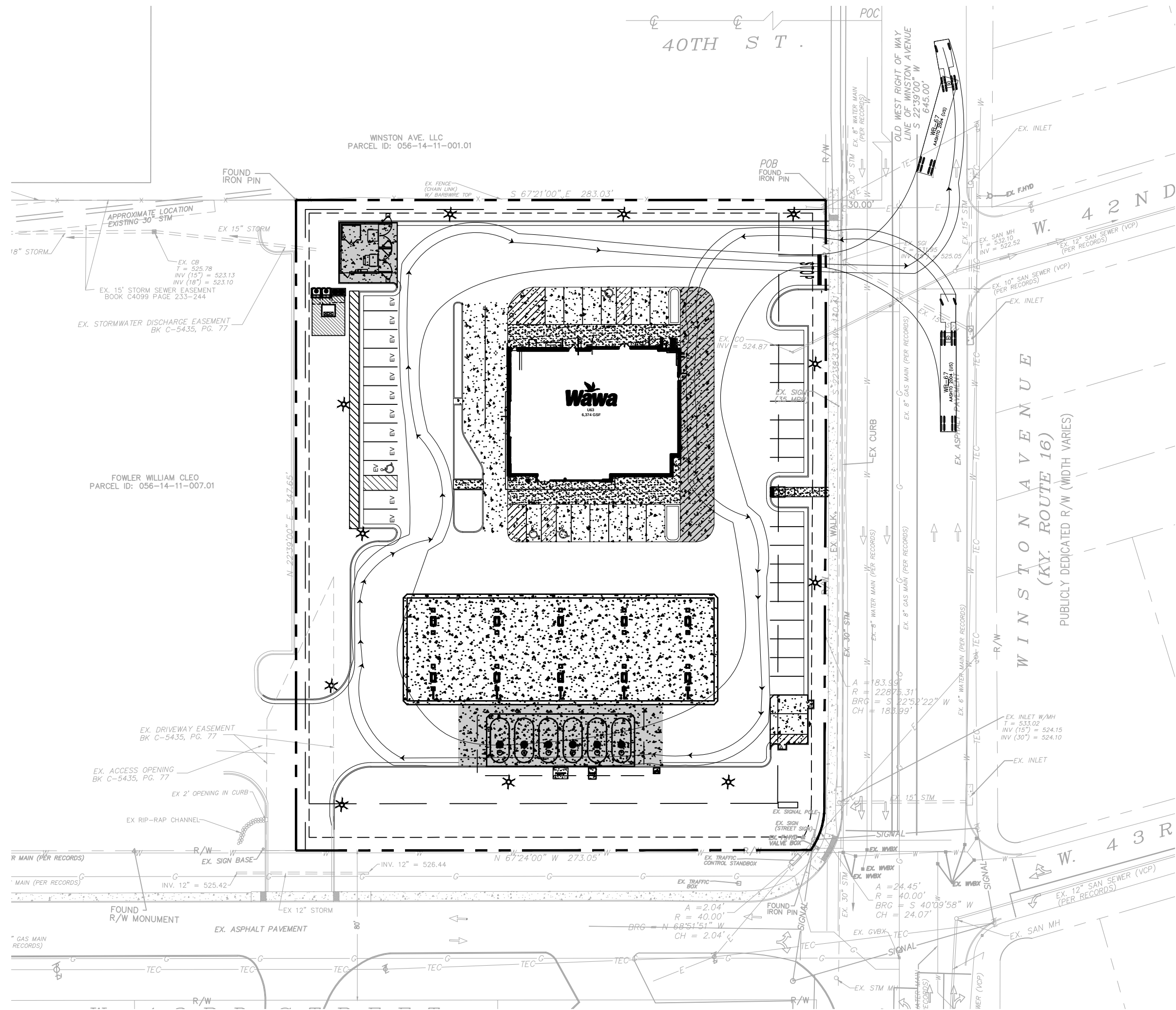
BY	
DATE	
REVISIONS	
No.	1 2 3 4 5 6 7 8 9 10
DESIGNED BY:	KAA
DRAWN BY:	KTA
CHECKED BY:	LWB
DATE:	12/22/2025
KIMLEY-HORN PROJECT NO.	118481034

SITE LAYOUT - OVERALL

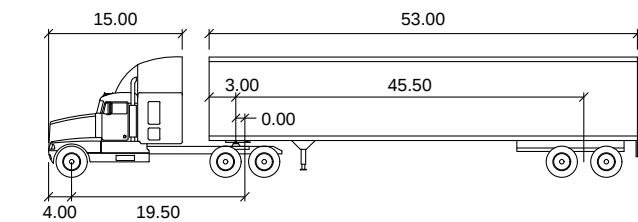
SHEET NUMBER

C2-00

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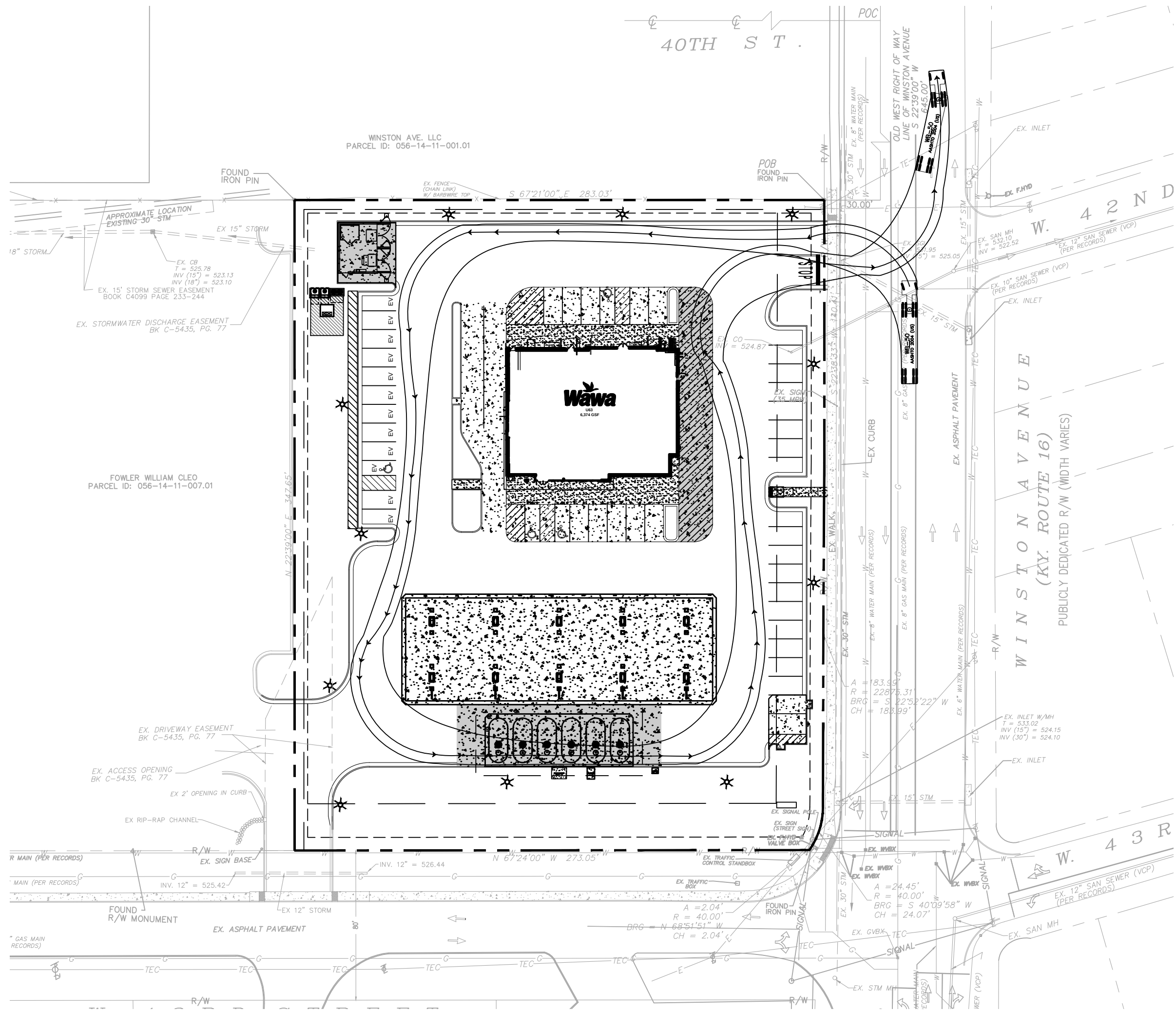


DELIVERY TRUCK TURN

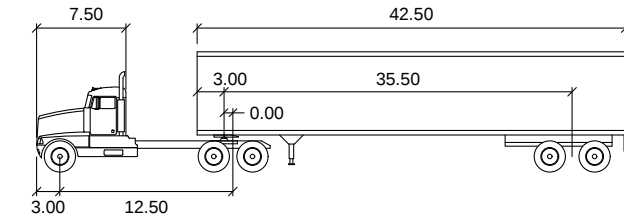


WB-67			
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		

DELIVERY TRUCK PROFILE



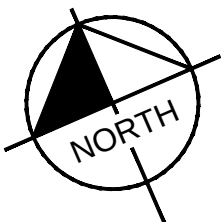
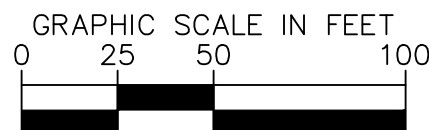
FUELING TRUCK TURN



WB-50			
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 17.7
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		

FUELING TRUCK PROFILE

COORDINATES ARE
NAD83.
ALL ELEVATIONS ARE
REFERENCED TO THE
NAVD 1988.

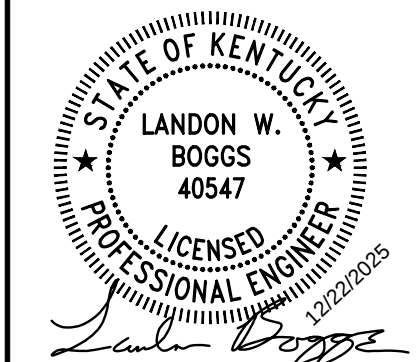


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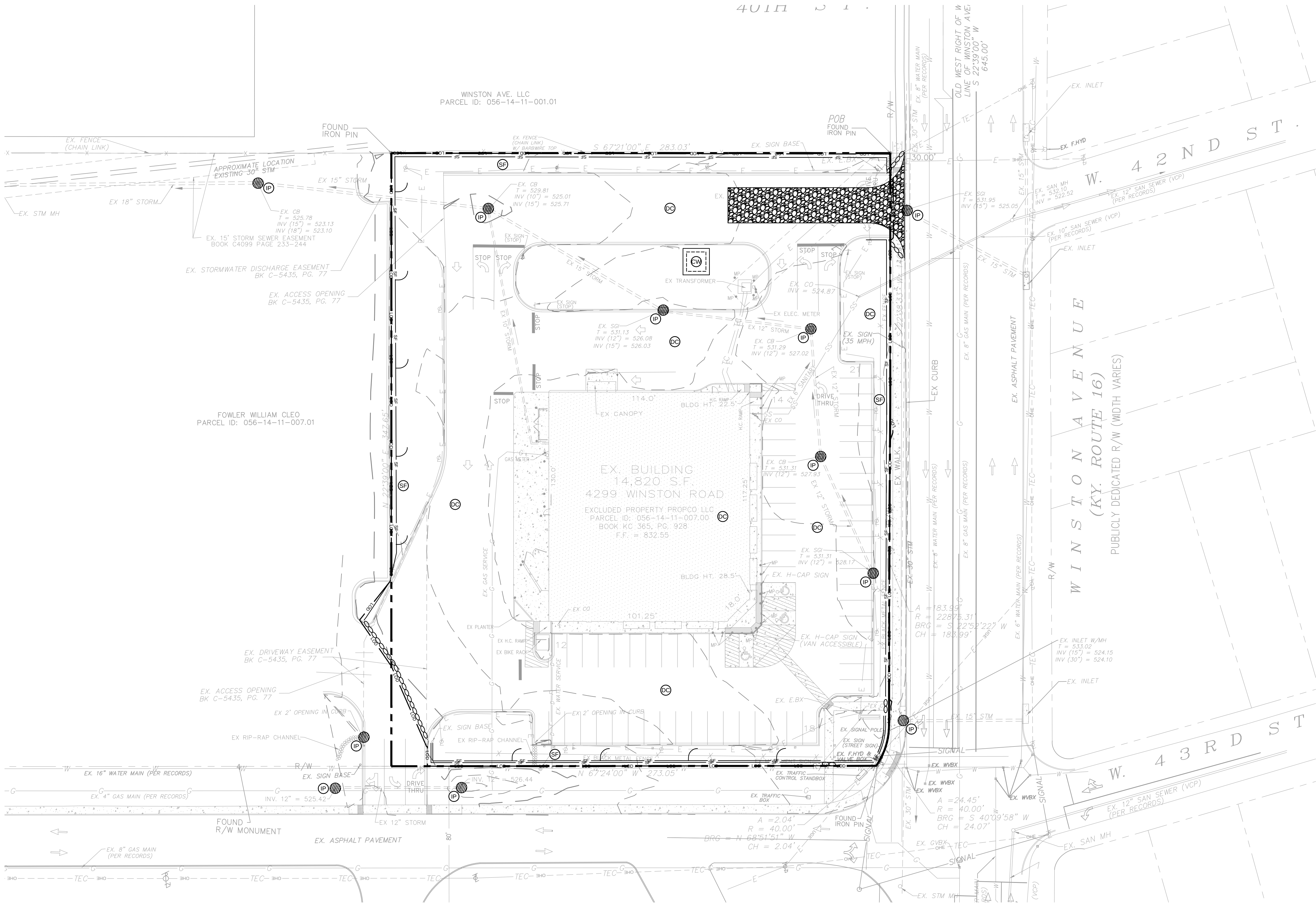
BY	DATE	REVISIONS
1		
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DESIGNED BY:	KAA
DRAWN BY:	KAA
CHECKED BY:	LWB
DATE:	12/22/2025
KIMLEY-HORN PROJECT NO.	118481034

TRUCK TURN PLAN

SHEET NUMBER
C2-20

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OP

OUTLET PROTECTION - REFER TO DETAIL SHEET C3-50

IP

INLET PROTECTION - REFER TO DETAIL SHEET C3-50

SF

SILT FENCE - REFER TO DETAIL SHEET C3-50

EE

EROSION EELS - REFER TO DETAIL SHEET C3-50

CW

CONCRETE WASHOUT AREA - REFER TO DETAIL SHEET C3-50

MA

EROSION CONTROL MATTING - CONTECH LANDLOK S2 OR APPROVED EQUAL. CONTRACTOR TO INSTALL ON ALL SLOPES 3(H):1(V) OR STEEPER - REFER TO DETAIL SHEET C3-50

CE

CONSTRUCTION EXIT - REFER TO DETAIL SHEET C3-50

TS

TEMPORARY STABILIZATION - REFER TO DETAIL SHEET C3-50

PS

PERMANENT STABILIZATION - REFER TO DETAIL SHEET C3-50

DC

DUST CONTROL

LOD

LIMITS OF DISTURBANCE

CS

CONSTRUCTION SIGN

TREE PROTECTION FENCING NOTE

TREE PROTECTION FENCING IS TO REMAIN IN PLACE UNTIL FINAL INSPECTION AND SIGN-OFF ON THE MASTER BUILDING CONTRACT AND CERTIFICATE OF OCCUPANCY BY THE URBAN FORESTER. STORMWATER SIGN-OFF AND REMOVAL OF EROSION CONTROL MEASURES IS NOT JUSTIFICATION TO REMOVE TREE PROTECTION FENCING.

EROSION CONTROL CONSTRUCTION SEQUENCE

PHASE I:

CONTRACTOR TO INSTALL CONSTRUCTION ENTRANCES, SILT FENCE, FIBER ROLLS, AND CONCRETE WASHOUTS ON SITE PRIOR TO DEMOLITION BEGINNING.

SILT FENCE IS TO BE INSTALLED AROUND PERIMETER AND PERPENDICULAR TO SURFACE DRAINAGE. CONTRACTOR SHOULD INSTALL EROSION EELS AT EXISTING ENTRANCES NOT USED FOR CONSTRUCTION.

AFTER PERIMETER MEASURES ARE INSTALLED, CONTRACTOR SHALL SCHEDULE PRE-CONSTRUCTION MEETING WITH CITY OF COVINGTON PUBLIC WORKS.

ALL 3:1 OR STEEPER SLOPES TO BE STABILIZED WITHIN 7 DAYS.

PHASE II:

CONTRACTOR TO DEMOLISH EXISTING BUILDING.

CONTRACTOR TO REMOVE PAVEMENT FROM SITE.

CONTRACTOR TO CLEAR, GRUB, AND EXCAVATE EXISTING INFRASTRUCTURE ON SITE.

CONTRACTOR TO CLEAR, GRUB, AND GRADE REMAINING SITE.

INSTALL PROPOSED UTILITIES INCLUDING PROPOSED STORM INLETS WITH PROTECTION.

CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, OR AS INSTRUCTED BY THE EROSION CONTROL INSPECTOR.

PERMANENTLY STABILIZE SITE.

UPON PERMANENT SITE STABILIZATION, REMOVE SILT FENCE, TREE PROTECTION, AND ALL OTHER TEMPORARY EROSION CONTROL DEVICES.

EROSION CONTROL NOTES

1. STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS. STOCK PILE LOCATIONS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO GRADING ACTIVITIES. EROSION & SEDIMENT CONTROL PRACTICE SHALL BE INSTALLED PRIOR TO STOCKPILE OPERATIONS.

2. ANY SITE USED FOR DISPOSAL AND/OR STOCKPILE OF ANY MATERIAL SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT ALL REQUIRED PERMITS ARE SECURED FOR EACH PROPERTY UTILIZED. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK ON ANY PROPERTY. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR REMOVING ANY ILLEGALLY PLACED MATERIAL AT HIS OWN EXPENSE.

3. CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.

4. MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED (WITHIN 15 DAYS OF ACHIEVED FINAL GRADES) UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION. STEEP SLOPES (GREATER THAN 3:1) SHALL BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.

5. REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

6. CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 50% FILLED WITH SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

7. REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND, WHEN IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.

8. PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.

9. DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.

10. STABILIZATION MEASURES (SEED & MULCH, TRIM WHERE INDICATED) SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, EXCEPT IN THE FOLLOWING TWO CASES:

10.a. WHERE THERE IS SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE OR WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 15 DAYS. TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE.

10.b. ALL EROSION CONTROL MEASURES SHALL BE CHECKED TWICE WEEKLY DURING PROLONGED RAINFALL DAILY CHECKING IS NECESSARY. DOCUMENTATION OF ALL CHECKS AND CORRECTIVE MEASURES SHALL BE KEPT AT THE PROJECT. A MONITORING REPORT CAN BE FOUND IN THE KENTUCKY EROSION AND SEDIMENT CONTROL HANDBOOK.

11. CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT REFUELING IN ACCORDANCE WITH KDOV'S STANDARDS. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRECONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITEE.

12. SEE ADDITIONAL EROSION CONTROL NOTES ON SHEET C0-01.

KDOV NOTICE OF COVERAGE NOTE

THIS PROJECT DOES DISTURB MORE THAN 1 ACRE AND IS REQUIRED TO APPLY FOR A NOTICE OF COVERAGE UNDER THE KENTUCKY GENERAL CONSTRUCTION PERMIT FROM KDOV.

COORDINATES ARE NAD83. ALL ELEVATIONS ARE REFERENCED TO THE NAVD 1988.

GRAPHIC SCALE IN FEET

0 15 30 60

NORTH

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Drawing name: K:\NSH_LDEV\118481034 - wawa covington ky\4-CADD\plansheets\C3-10 EROSION CONTROL PLAN - PHASE 1.dwg C3-10 EROSION CONTROL PLAN - PHASE 1 Dec 22, 2025 11:38am by: Kalem Adamson

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HUTTON COVINGTON KY

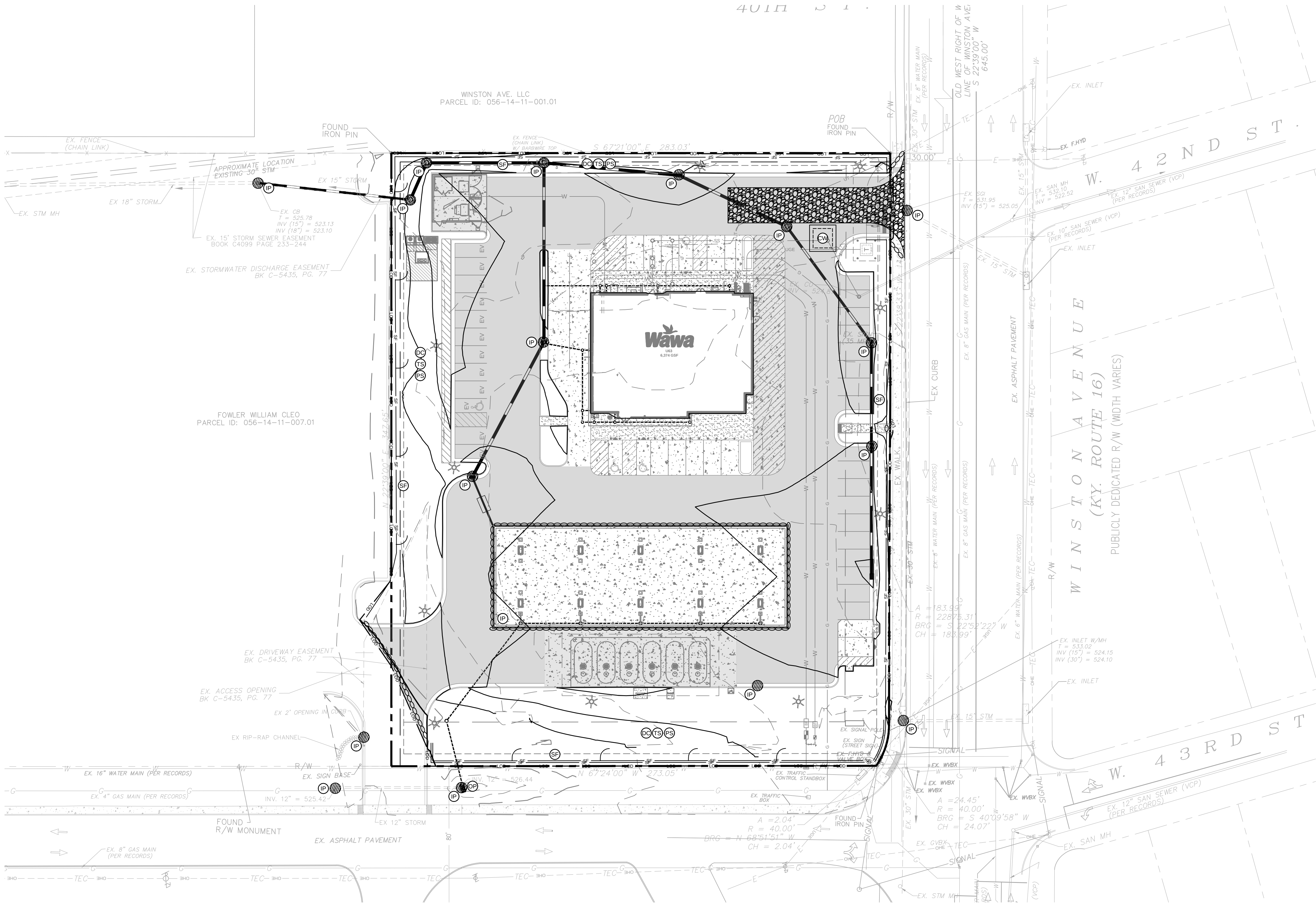
ST, LLC

WINSTON AVE AND W 43RD ST
COVINGTON, KY

STATE OF KENTUCKY
LANDON W. BOGGS
40547
LICENSED PROFESSIONAL ENGINEER
12/22/2025

NO.	DATE	REVISIONS
1		DESIGNED BY:
2		DRAWN BY:
3		CHECKED BY:
4		DATE: 12/22/2025
5		KIMLEY-HORN PROJECT NO. 118481034
6		EROSION CONTROL PLAN - PHASE 1
7		SHEET NUMBER
8		C3-10
9		
10		

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EROSION CONTROL LEGEND

 OP

OUTLET PROTECTION - REFER TO DETAIL SHEET C3-50

 IP

INLET PROTECTION - REFER TO DETAIL SHEET C3-50

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SILT FENCE - REFER TO DETAIL SHEET C3-50

 EE

EROSION EELS - REFER TO DETAIL SHEET C3-50

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CONCRETE WASHOUT AREA - REFER TO DETAIL SHEET C3-50

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EROSION CONTROL MATTING - CONTECH LANDLOK S2 OR APPROVED EQUAL. CONTRACTOR TO INSTALL ON ALL SLOPES 3(H):1(V) OR STEEPER - REFER TO DETAIL SHEET C3-50

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CONSTRUCTION EXIT - REFER TO DETAIL SHEET C3-50

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TEMPORARY STABILIZATION - REFER TO DETAIL SHEET C3-50

 PS

PERMANENT STABILIZATION - REFER TO DETAIL SHEET C3-50

 DC

DUST CONTROL

 LOD

LIMITS OF DISTURBANCE



CONSTRUCTION SIGN

TREE PROTECTION FENCING NOTE

TREE PROTECTION FENCING IS TO REMAIN IN PLACE UNTIL FINAL INSPECTION AND SIGN-OFF ON THE MASTER BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY BY THE URBAN FORESTER. STORM SIGN-OFF AND REMOVAL OF EROSION CONTROL MEASURES IS NOT JUSTIFICATION TO REMOVE TREE PROTECTION FENCING.

EROSION CONTROL CONSTRUCTION SEQUENCE

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- AFTER PERIMETER MEASURES ARE INSTALLED, CONTRACTOR SHALL SCHEDULE PRE-CONSTRUCTION MEETING WITH CITY OF COVINGTON PUBLIC WORKS.
- ALL 3:1 OR STEEPER SLOPES TO BE STABILIZED WITHIN 7 DAYS.

PHASE II:

- CONTRACTOR TO DEMOLISH EXISTING BUILDING.
- CONTRACTOR TO REMOVE PAVEMENT FROM SITE.
- CONTRACTOR TO CLEAR, GRUB, AND EXCAVATE EXISTING INFRASTRUCTURE ON SITE.
- CONTRACTOR TO CLEAR, GRUB, AND GRADE REMAINING SITE.
- INSTALL PROPOSED UTILITIES INCLUDING PROPOSED STORM INLETS WITH PROTECTION.
- CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, OR AS INSTRUCTED BY THE EROSION CONTROL INSPECTOR.
- PERMANENTLY STABILIZE SITE.
- UPON PERMANENT SITE STABILIZATION, REMOVE SILT FENCE, TREE PROTECTION, AND ALL OTHER TEMPORARY EROSION CONTROL DEVICES.

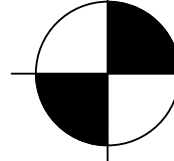
EROSION CONTROL NOTES

- STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS. STOCK PILE LOCATIONS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO GRADING ACTIVITIES. EROSION & SEDIMENT CONTROL PRACTICE SHALL BE INSTALLED PRIOR TO STOCKPILE OPERATIONS.
- ANY SITE USED FOR DISPOSAL, AND/OR STOCKPILE OF ANY MATERIAL SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT ALL REQUIRED PERMITS ARE SECURED FOR EACH PROPERTY UTILIZED. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK ON ANY PROPERTY. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR REMOVING ANY ILLEGALLY PLACED MATERIAL AT HIS OWN EXPENSE.
- CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
- MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED (WITHIN 15 DAYS OF ACHIEVED FINAL GRADES) UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION. STEEP SLOPES (GREATER THAN 3:1) SHALL BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
- REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 50% FILLED WITH SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND, WHEN IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.
- PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
- DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
- STABILIZATION MEASURES (SEED & MULCH, TRIM WHERE INDICATED) SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, EXCEPT IN THE FOLLOWING TWO CASES.
- a. WHERE THERE IS SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE OR WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 15 DAYS. TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE.
- b. ALL EROSION CONTROL MEASURES SHALL BE CHECKED TWICE WEEKLY DURING PROLONGED RAINFALL DAILY CHECKING IS NECESSARY. DOCUMENTATION OF ALL CHECKS AND CORRECTIVE MEASURES SHALL BE KEPT AT THE PROJECT. A MONITORING REPORT CAN BE FOUND IN THE KENTUCKY EROSION AND SEDIMENT CONTROL HANDBOOK.
- CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT REFUELING IN ACCORDANCE WITH KDOV'S STANDARDS. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRECONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITEE.
- SEE ADDITIONAL EROSION CONTROL NOTES ON SHEET C0-01.

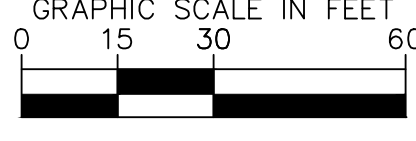
KDOV NOTICE OF COVERAGE NOTE

THIS PROJECT DOES DISTURB MORE THAN 1 ACRE AND IS REQUIRED TO APPLY FOR A NOTICE OF COVERAGE UNDER THE KENTUCKY GENERAL CONSTRUCTION PERMIT FROM KDOV.

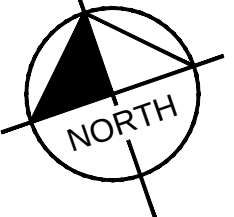
PERMIT REVIEW
ONLY



COORDINATES ARE
NAD83.
ALL ELEVATIONS ARE
REFERENCED TO THE
NAVD 1988.



GRAPHIC SCALE IN FEET
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NORTH

Kimley»Horn

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WAWA #7635
HUTTON COVINGTON KY
ST, LLC
WINSTON AVE AND W 43RD ST
COVINGTON, KY



STATE OF KENTUCKY
LANDON W. BOGGS
40547
LICENSED PROFESSIONAL ENGINEER
12/22/2025

BY	DATE	REVISIONS								
No.	1	2	3	4	5	6	7	8	9	10

DESIGNED BY: KAA

DRAWN BY: KTA

CHECKED BY: LWB

DATE: 12/22/2025

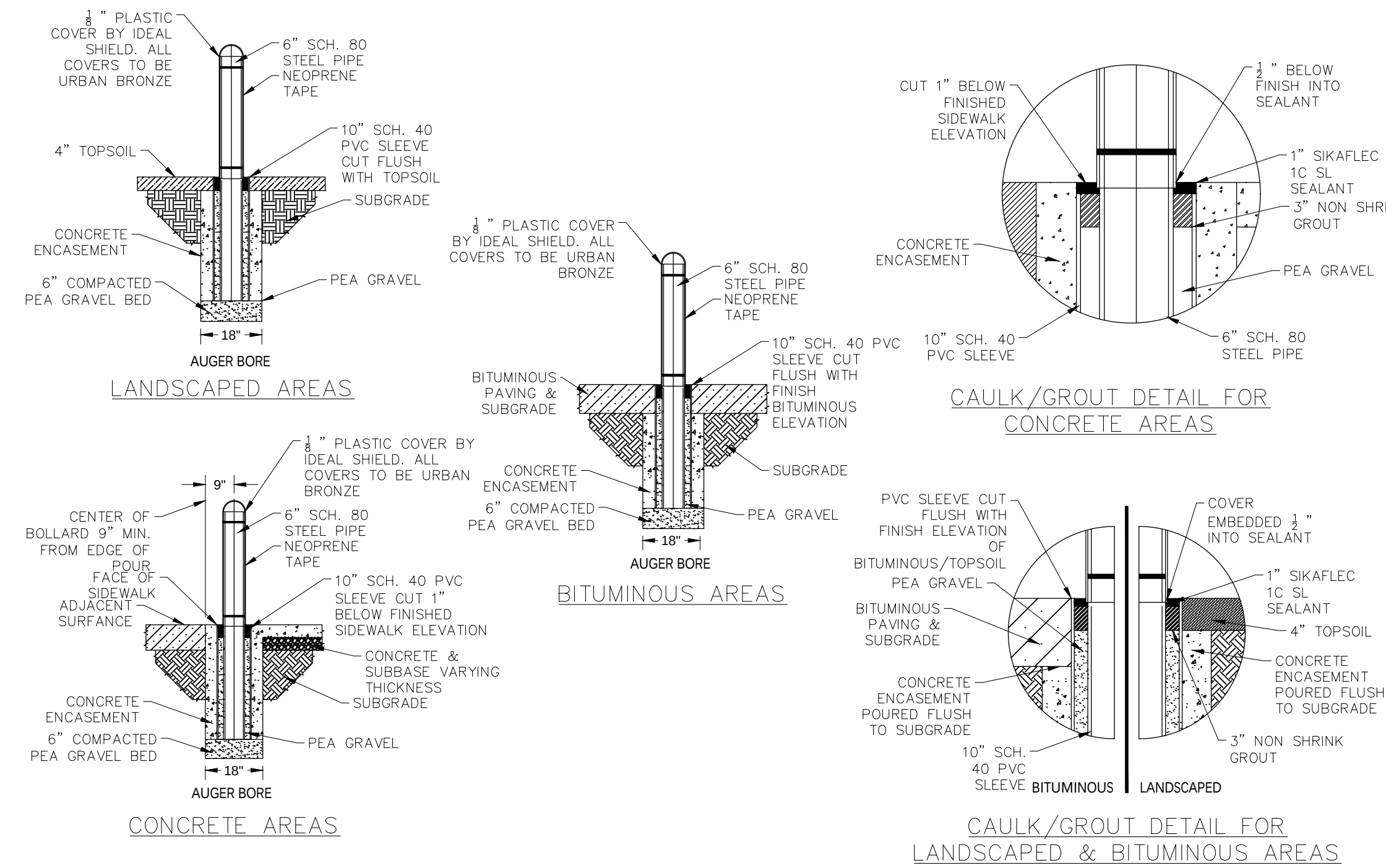
KIMLEY-HORN PROJECT NO. 118481034

EROSION CONTROL PLAN - PHASE 2

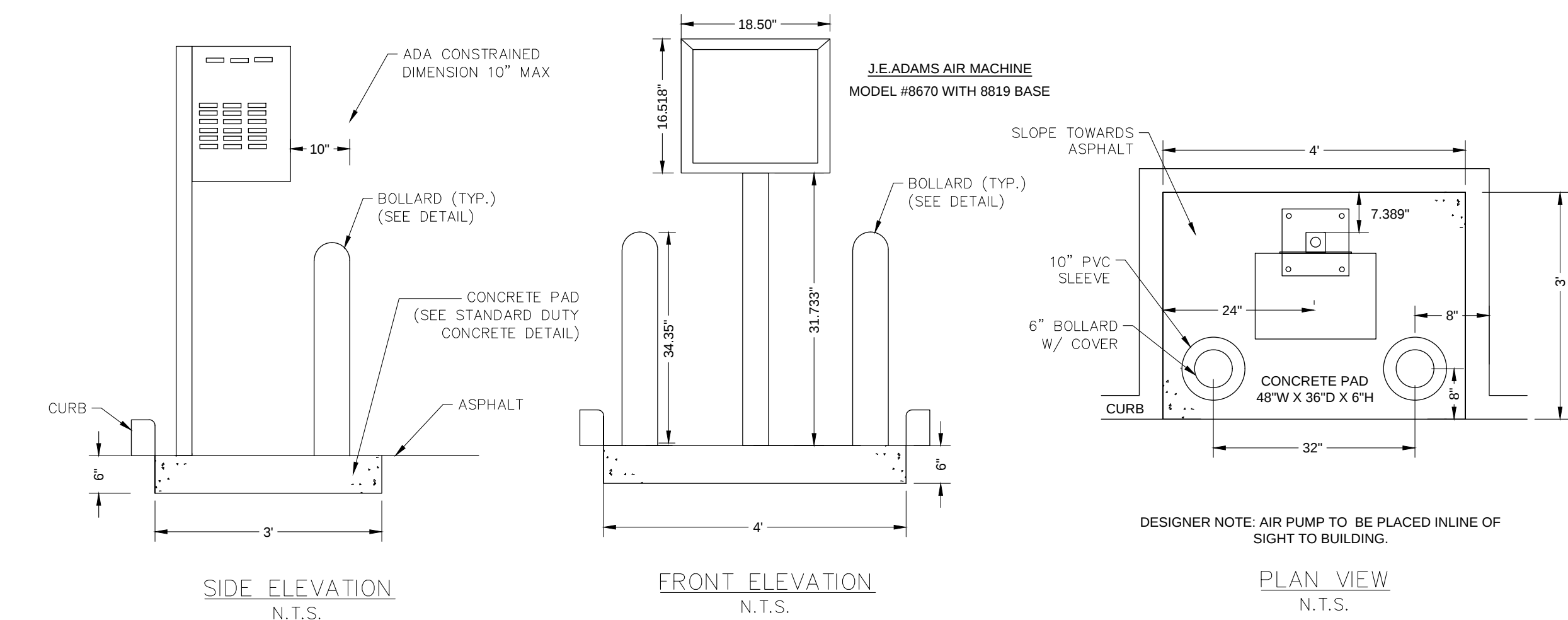
SHEET NUMBER C3-20

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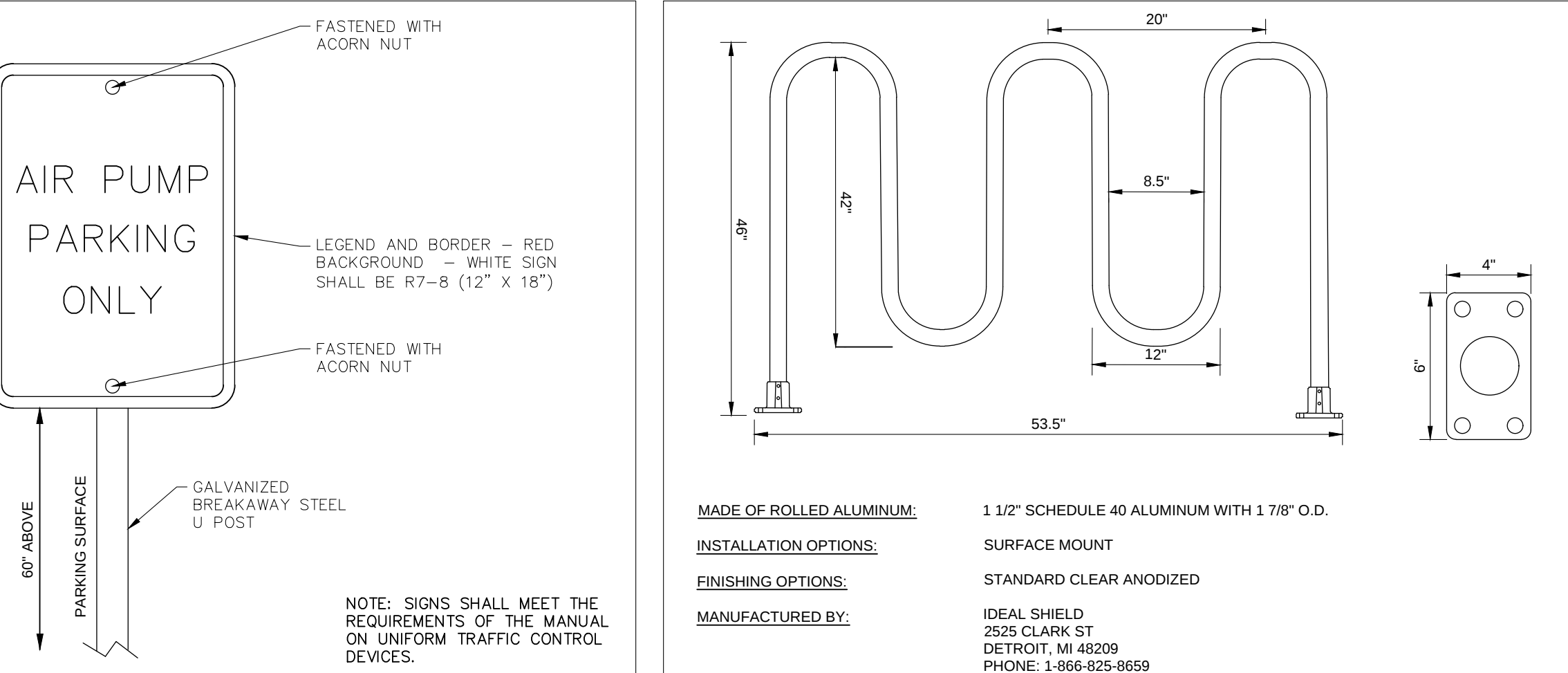
WAWA SITE DETAILS



BOLLARD DETAIL



AIR PUMP STANDARD DETAIL



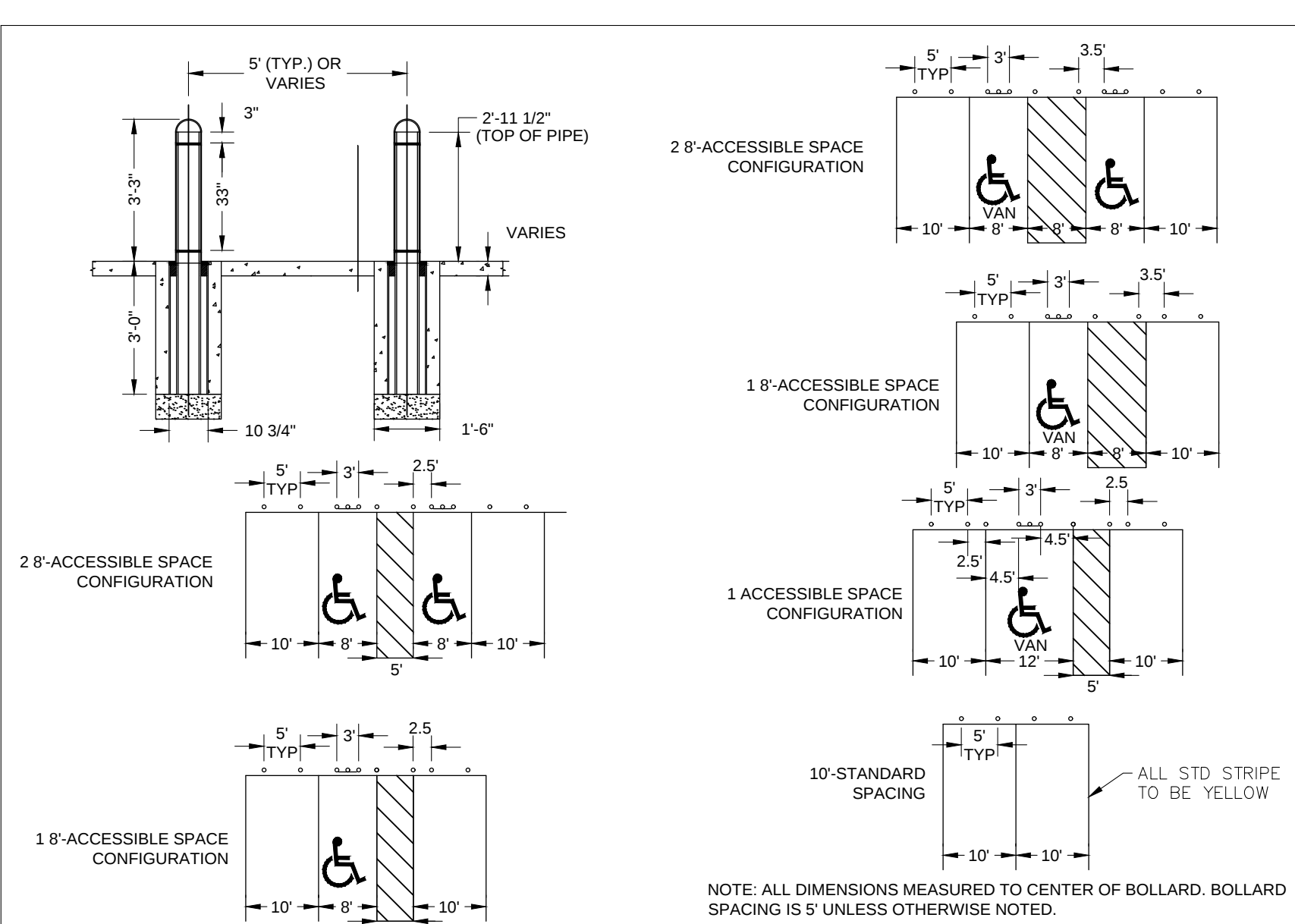
AIR PUMP PARKING SIGN DETAIL



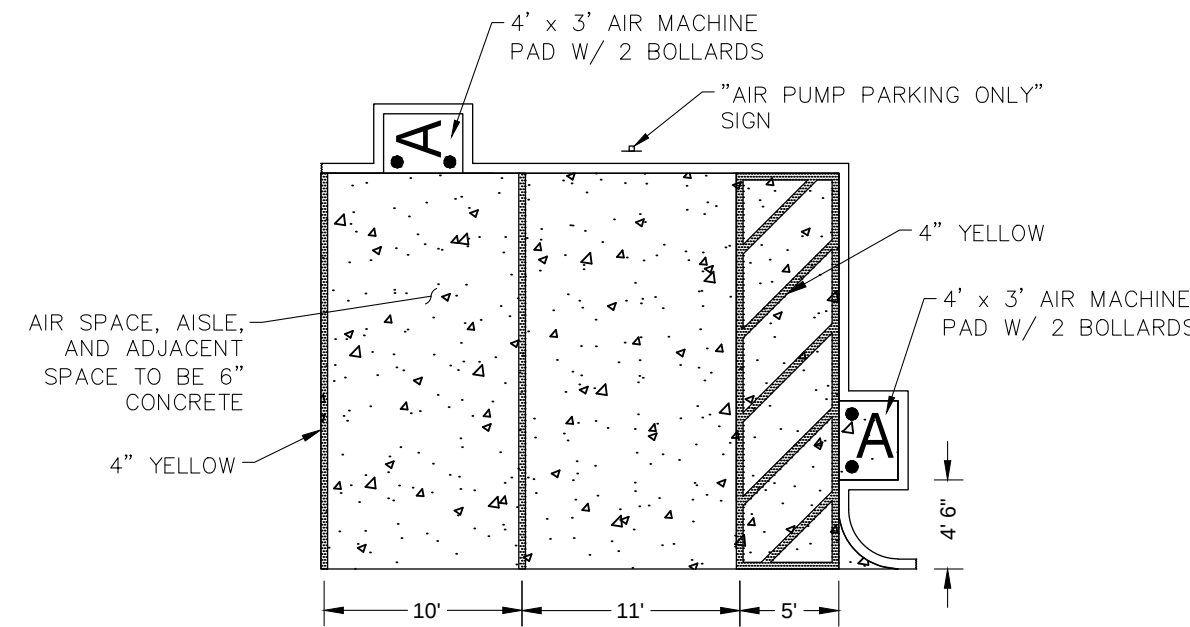
STANDARD BICYCLE RACK DETAIL



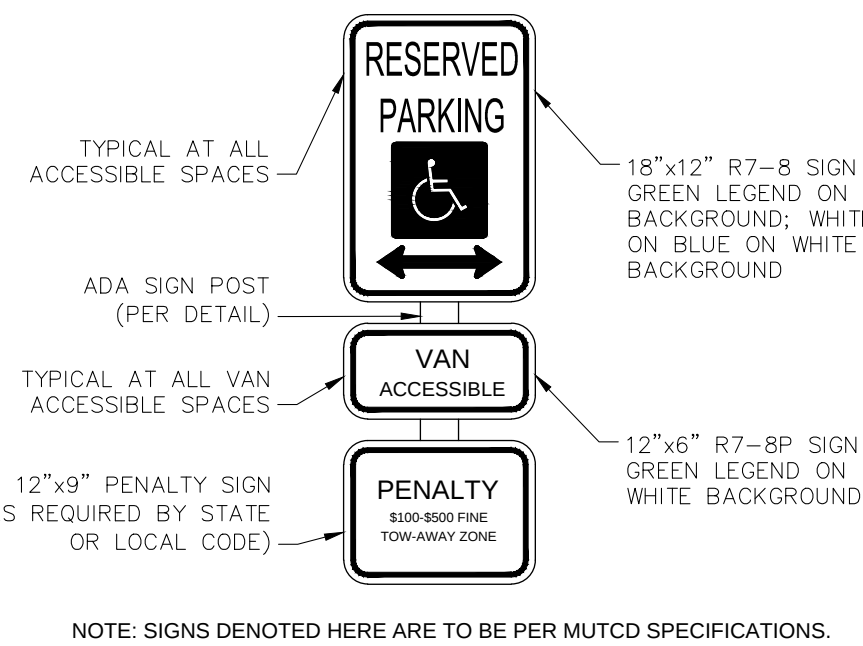
BOLLARD SPACING/DIMENSION DETAIL



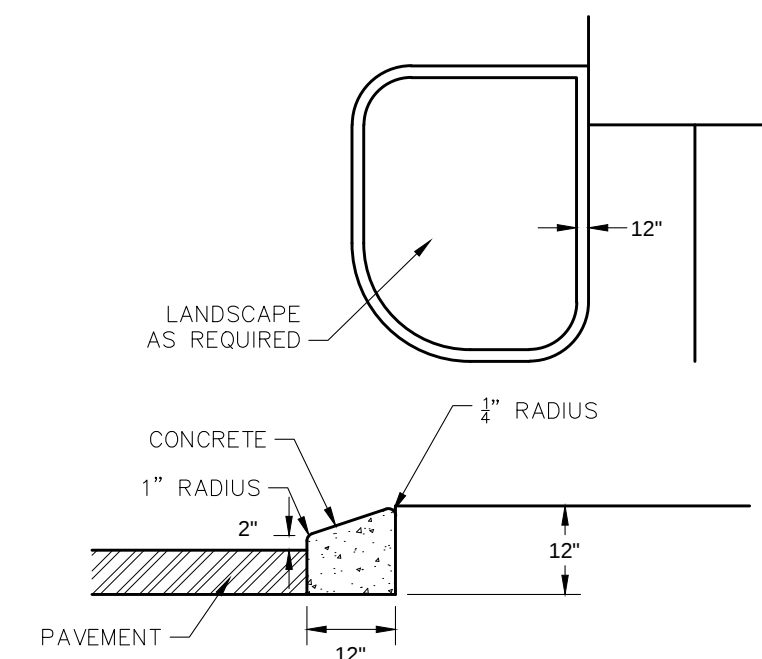
AIR PUMP PARKING DETAIL



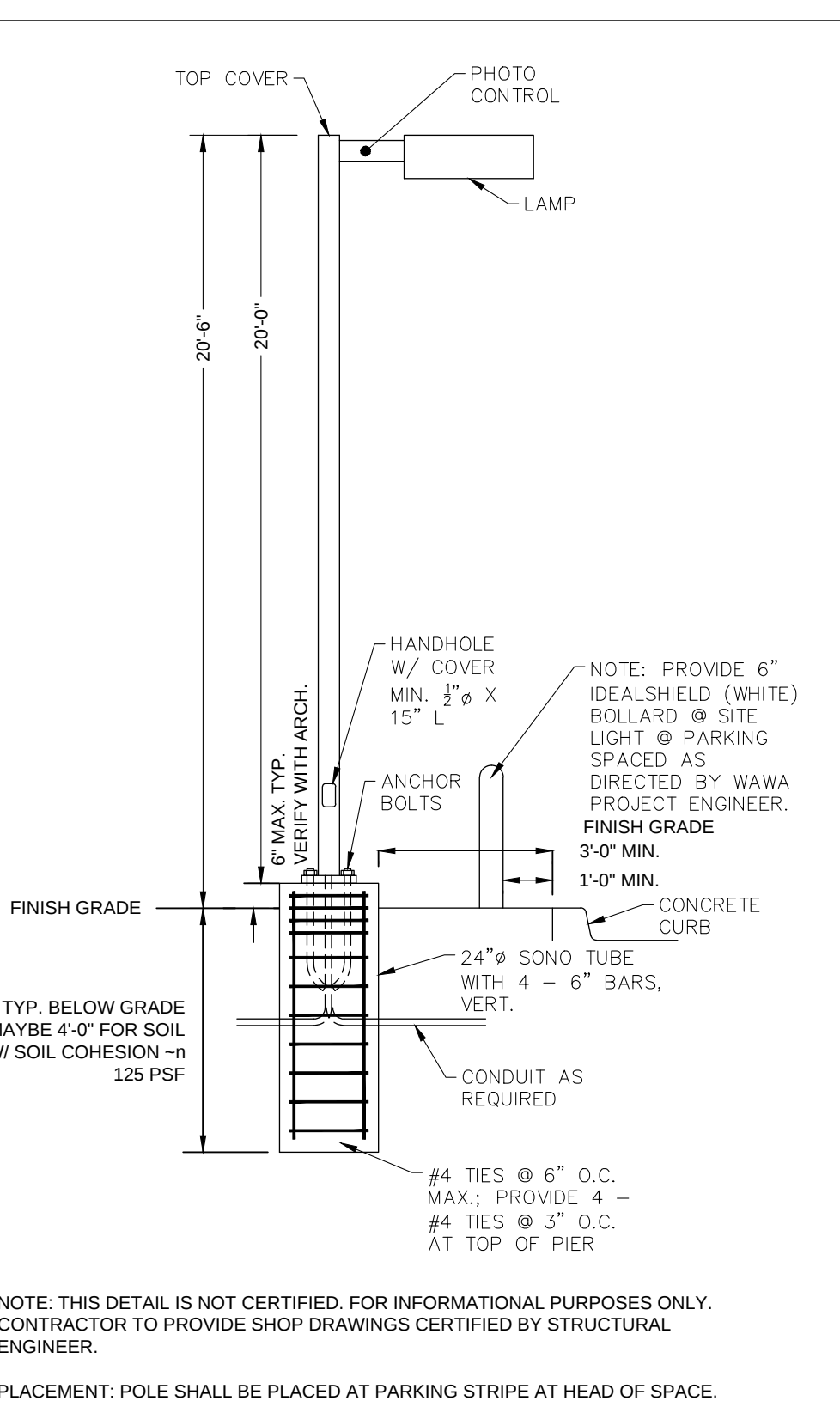
ADA PARKING SIGNAGE



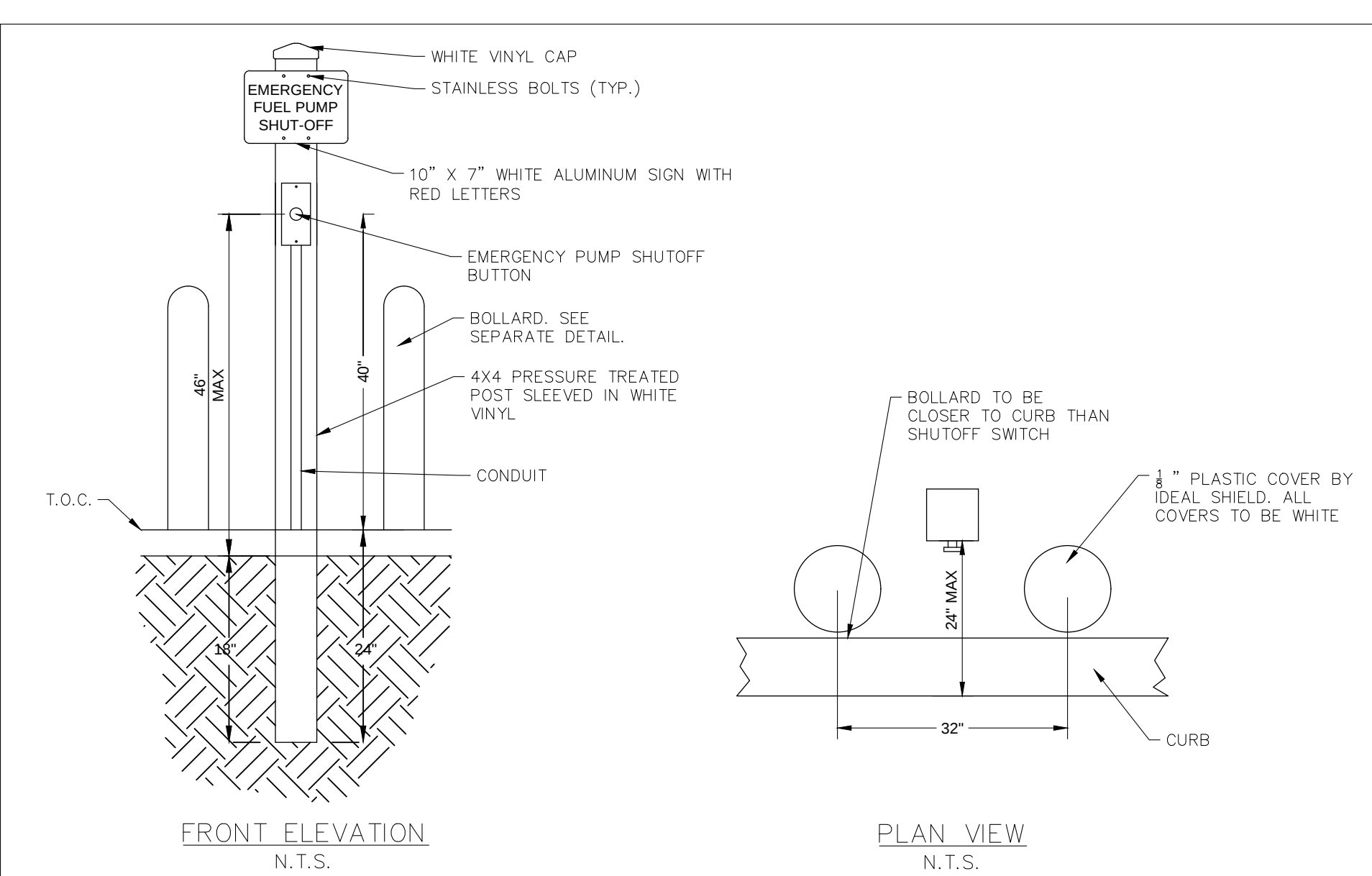
MOUNTABLE CURB/ISLAND AND STAMPED CONCRETE DETAIL



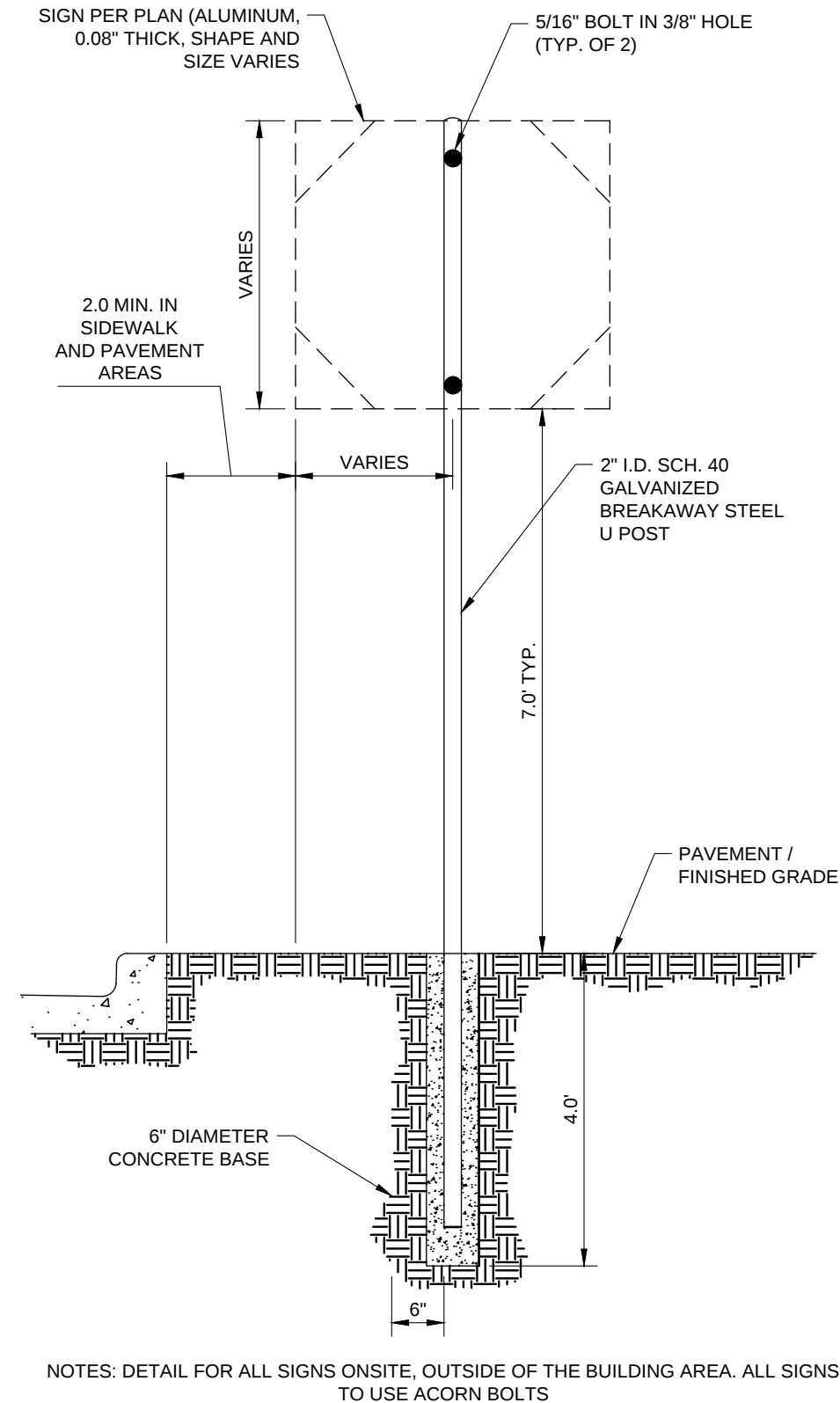
LIGHT POLE W/ STANDARD ANCHORING DETAIL



EMERGENCY PUMP SHUTOFF ("E-STOP") DETAIL

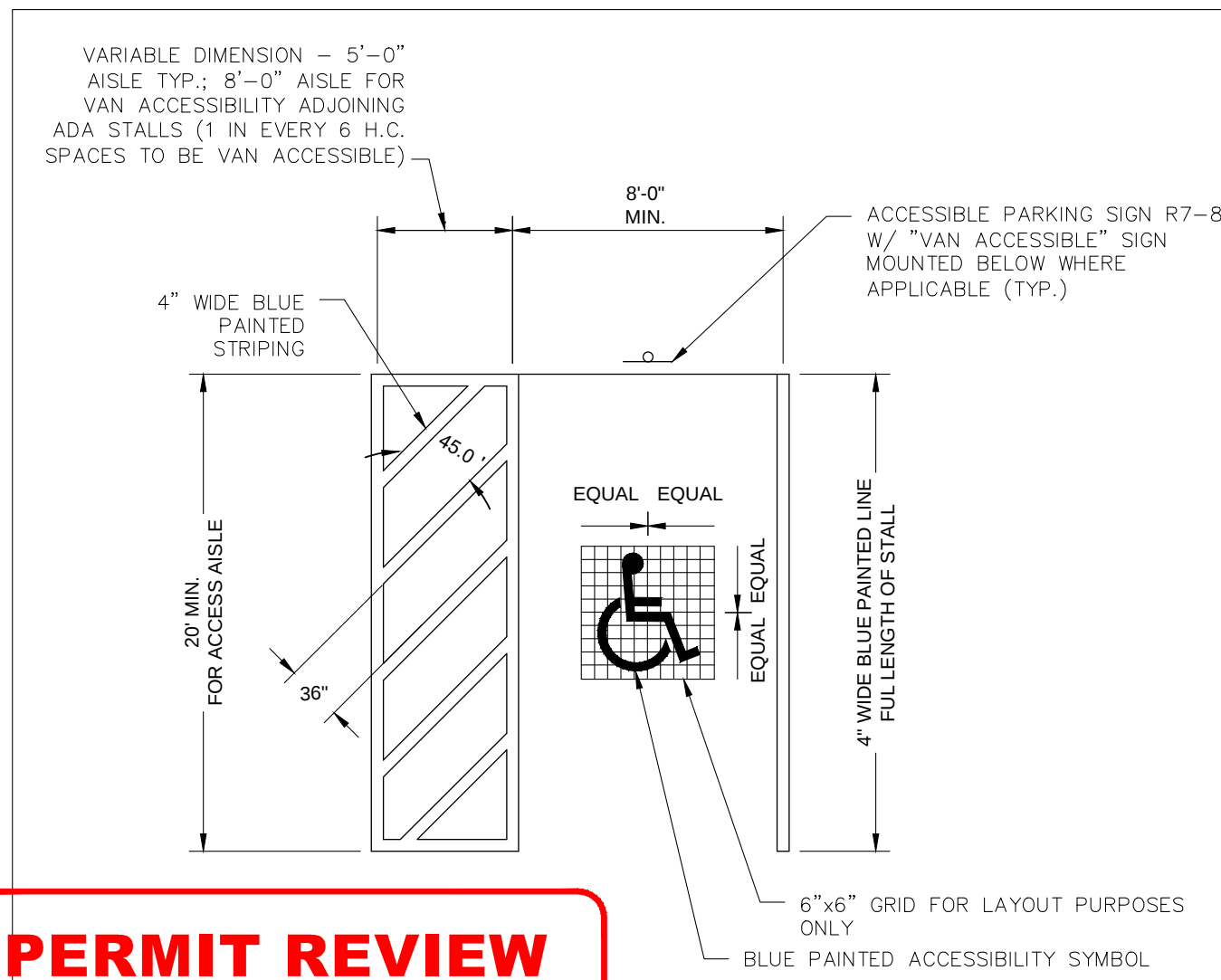


SIGN POST



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ADA PARKING SPACE STRIPING DETAIL



WAWA #7635

HUTTON COVINGTON KY

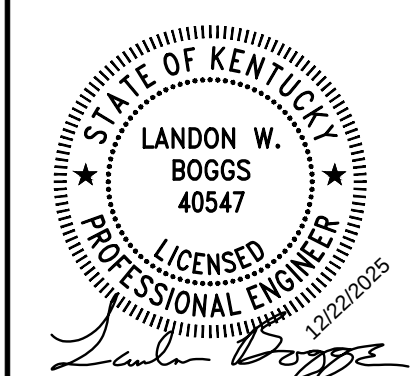
ST, LLC

WINSTON AVE AND W 43RD ST
COVINGTON, KY

Kimley»Horn

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Main: 615.564.2701 | www.kimley-horn.com

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BY	DATE	REVISIONS	No.	1	2	3	4	5	6	7	8	9	10
			DESIGNED BY:	KAA									
DRAWN BY:			KTA										
CHECKED BY:			LWB										
DATE:			12/22/2025										
KIMLEY-HORN PROJECT NO. 118481034													

SITE DETAILS

SHEET NUMBER

C8-10