

INDEPENDENCE ZONING ORDINANCE

ARTICLE 7 DEVELOPMENT STANDARDS

Contents:

- 7.01 Purpose**
- 7.02 Applicability**
- 7.03 Relation to Overlay and Special Districts**
- 7.04 Character Standards**
- 7.05 Site Lighting**
- 7.06 Fences and Walls**
- 7.07 Landscaping, Screening, and Buffers**

7.01 Purpose

The purpose of these standards is to:

- A. Ensure that new development, renovations, infill, and redevelopment are designed, sized, and sited to complement the area in which they are located and the character of the community in general;
- B. Minimize traffic hazards and situations which endanger public safety;
- C. Protect existing development and property values through the promotion of high standards of design and compatibility; and
- D. To provide for a high quality of life for our citizens by promoting a variety of housing styles, transportation choices, and well-planned parks and open spaces.

7.02 Applicability

The following standards shall apply to all development in the zoning districts indicated, unless otherwise noted, with the following exceptions.

- A. Routine maintenance of buildings and sites.
- B. All plumbing, mechanical and electrical equipment, when such work is entirely within the interior of a building.
- C. Construction or alteration is necessary to comply with a lawful order of the City or the State of Kentucky related to immediate public health or safety.
- D. Any interior alterations, repairs, or renovation which do not change the principal use of the structure.
- E. Expansion of existing uses not exceeding 30 percent of the gross floor (for structure-related uses) or lot area (for non-structure-related uses) of the existing development.
- F. Demolition or wrecking, repair, construction, reconstruction, alteration, rehabilitation, moving, demolition, or change in use for either land or buildings within any local historic preservation overlay district.

7.03 Relation to Overlay and Special Districts

These standards shall apply in all overlay districts, except historic preservation overlay districts, in the same manner and using the same process as standards applicable to the underlying district, including any applicable alternative standards except where such standards conflict the most restrictive shall apply unless otherwise noted.

7.04 Character Standards

The following tables of standards are intended to provide objective criteria required for development in particular zoning districts. Where a criterion is required in a zoning district, an “X” appears in that district column. Where a criterion is not required, a “-” appears in that column.

TABLE 7.1 - ZONING DISTRICTS																		
“X” means that the standard is required. “-” means that the standard is not required.	RESIDENTIAL							COMM			EMP				OTHER		SPECIAL	
	R-RE	R-LLS	R-CVS	R-CPS	R-M	R-MF	MHP	RC	NC	CC	BP	FI	SI	GI	CO	INST	PUD	
A. Character Standards - Non-Residential Construction																		
To define public street space, foster compatibility between development sites, and to emphasize key commercial areas, the following standards shall apply.																		
1. More than one principal building, as defined herein, may be permitted on a lot.	-	-	-	-	-	-	-	X	X	X	X	X	X	X	-	X	Approved per Concept or Development Plan	
2. All business activities permitted within this zone shall be conducted within a completely enclosed building with the exception of off - street parking and loading and/or unloading areas, outdoor dining areas for restaurants, and outdoor play areas associated with child care centers if these uses are specifically permitted within the zone.	-	-	-	-	-	-	-	X	X	X	X	X	-	-	-	X		
3. No outdoor storage of any material, usable or waste, shall be permitted except within enclosed containers, except where otherwise permitted in Article 4, Use Regulations and Standards.	-	-	-	-	-	-	-	X	X	X	X	X	X	X	-	X		
4. Primary Building Materials may be used for up to 100% of the exterior wall surface area. Permitted primary materials include the following materials; brick, wood “clapboard” type siding, wood composite “clapboard” type siding or cement board “clapboard” type siding, stone, tile, glass or concrete which is formed to have a masonry unit appearance may be used. Secondary Building Materials may be used for trim, detailing, and incidental or secondary wall areas. These secondary materials may not exceed 40% of the exterior wall surface area.	-	-	-	-	-	-	-	X	X	X	X	X[1]	X[1]	X[1]	-	-		

TABLE 7.1 - ZONING DISTRICTS

	RESIDENTIAL							COMM			EMP				OTHER		SPECIAL
"X" means that the standard is required. "." means that the standard is not required.	R-RE	R-LLS	R-CVS	R-CPS	R-M	R-MF	MHP	RC	NC	CC	BP	FI	SI	GI	CO	INST	PUD
Permitted secondary materials include; architectural grade metals, EIFS/stucco, glass block and precast concrete. Only architectural grade materials shall be used. Prohibited Building Materials may not be utilized at all. These prohibited materials include; plain/smooth faced CMU, flimsy or synthetic appearing exterior wall materials (such as ribbed, industrial style metal siding, exposed fastener metal wall panels, vinyl siding, T1-11 or other hard board type materials that are manufactured in sheets) are not permitted.																	
5. Materials for any pitched roof shall be architectural grade, three dimensional shingles or tiles, slate, or standing seam metal.	-	-	-	-	-	-	-	X	X	X	X	X[1]	X[1]	X[1]	-	-	
6. Ground level transparency must comprise a minimum percentage of the street-facing façade between 3 and 8 feet in height above grade. Materials such as opaque or darkly-tinted glass or glass block are not considered to be transparent. Display windows that do not provide visual access into the interior of the building count toward the minimum transparency percentage. Transparency requirements to not apply to residential buildings. The following minimum standards apply: Primary Street: ground level 50%, upper levels 30% Secondary Street: ground level 25%, upper level 25%	-	-	-	-	-	-	-	-	X	-	-	-	-	-	-	-	
7. The street-facing facades of commercial and mixed use buildings shall not have a blank, uninterrupted length greater than 40 feet without including a change in plane and one additional feature, such as changes in texture or pattern, projections, or recesses.	-	-	-	-	-	-	-	-	X	-	-	-	-	-	-	-	

[1] Applies only to newly constructed office and financial service buildings in the FI and GI Zones

B. Character Standards—Residential Construction

To promote thoughtful residential design that will result in the creation and maintenance of strong, vibrant neighborhoods, the following standards shall apply.

TABLE 7.1 - ZONING DISTRICTS

	RESIDENTIAL							COMM			EMP				OTHER		SPECIAL
<p>"X" means that the standard is required. "." means that the standard is not required.</p>	R-RE	R-LLS	R-CVS	R-CPS	R-M	R-MF	MHP	RC	NC	CC	BP	FI	SI	GI	CO	INST	PUD
1. More than one principal building, as defined herein, may be permitted on the minimum site for development.	-	-	-	-	X	X	X	-	-	-	-	-	-	-	-	-	-
2. No outdoor storage of any material, usable or waste, shall be permitted except within enclosed containers, except where otherwise permitted in Article 4, Use Regulations and Standards.	X	X	X	X	X	X	X	-	-	-	-	-	-	-	-	-	-
3. Exterior walls of all detached single-family residential dwelling units, except foundations, shall not be constructed of concrete or cinder block.	X	X	X	X	-	-	-	-	-	-	-	-	-	-	-	-	-
4. The same front elevation cannot be built adjacent to or directly across the street from a single-family residential dwelling with the same front elevation, unless colors, front door or garage doors, window style, gable, or other features are present which result in the front elevation appearing to be different.	X	X	X	X	-	-	-	-	-	-	-	-	-	-	-	-	-
5. All windows and doors on the front elevations of a new detached single-family residential dwellings must provide a minimum of 3/4 inch by 3 1/2 inch trim surround or decorative shutters. Windows, doors, and garage doors in brick veneer are not required to meet this requirement.	X	X	X	X	-	-	-	-	-	-	-	-	-	-	-	-	-
6. All detached single-family residential dwelling units shall have a minimum of 50% "approved exterior covering" on the front elevation, excluding doors, windows, garage doors, roofs, exterior trim, and shutters. "Approved exterior covering" shall include, brick veneer, stone (real or cultured), stucco, fiber cement siding products natural wood or wood composite horizontal siding, natural wood or wood composite shingles, natural wood or wood composite shake.	X	X	X	X	-	-	-	-	-	-	-	-	-	-	-	-	-
A combination of design features from the lists below in subsections 7.04, E., and 7.04, F., can be used to decrease the requirement on the front elevation, but it shall not be decreased below 25% unless three or more elements from subsection 7.04, F., are used.																	
C. Character Standards—Services, Utilities, and Minor Accessory Uses																	

Approved per
 Concept or
 Development
 Plan

TABLE 7.1 - ZONING DISTRICTS

	RESIDENTIAL							COMM			EMP				OTHER		SPECIAL
"X" means that the standard is required. "." means that the standard is not required.	R-RE	R-LLS	R-CVS	R-CPS	R-M	R-MF	MHP	RC	NC	CC	BP	FI	SI	GI	CO	INST	PUD
To subordinate the appearance of services, utilities, and minor accessory uses on individual sites and throughout the City's jurisdiction, the following standards shall apply.																	
1. All utility equipment (includes meters, boxes, valves, etc. but does not include overhead power lines, light poles, and similar equipment) shall be designed and located to be as inconspicuous as possible and shall not be located on the street-side of a principal structure.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
2. All utility lines serving new development or subdivisions and redevelopment sites shall be placed underground whenever practicable.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
3. All dumpster, trash and recycling receptacle storage areas shall be located in the side or rear yard. Dumpsters shall also be screened per Section 7.07, N.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
4. Except as provided below, no building may be constructed in any zone unless the building is connected to a public water and public sanitary sewer system of adequate capacity and design, and approved by proper authorities. a. Those areas within the Rural Focus Area, as identified by the Kenton County Comprehensive Plan may be permitted to utilize on-site subsurface disposal systems provided that such systems shall be designed and constructed in accordance with the regulations of the applicable state and local agencies. b. Individual on-site sewage disposal systems within the Urban/Suburban Focus Area (as provided for within the Kenton County Comprehensive Plan) may be permitted only within those areas which are not currently served by a centralized sanitary sewer system. Individual on-site disposal systems may be permitted only under the following conditions: i. On-site systems shall be permitted to be	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	Approved per Concept or Development Plan

TABLE 7.1 - ZONING DISTRICTS

	RESIDENTIAL							COMM			EMP				OTHER		SPECIAL
"X" means that the standard is required. "." means that the standard is not required.	R-RE	R-LLS	R-CVS	R-CPS	R-M	R-MF	MHP	RC	NC	CC	BP	FI	SI	GI	CO	INST	PUD
located only on lots which abut existing streets. Where new street rights-of-way are created, or new streets constructed within an existing right-of-way, all existing lots or newly subdivided lots shall be required to connect to a centralized sewerage system. ii. The lot shall comply with the Area and Height Regulations for Permitted Uses, as established in the R-RE Zone. iii. On-site subsurface sewerage systems shall be provided with an aerobic type (aerator) treatment plant which will be built in accordance with the regulations of the applicable state and local agencies and shall remain in operation until a connection is made to a centralized sewer system. In those areas where on-site disposal systems are permitted, a connection to the applicable water agency's supply shall not be required. c. Where existing buildings are presently unserved by a public sanitary sewer system and a public water supply, and are located within a reasonable distance of an existing or newly extended sanitary sewer or water line, as determined by the legislative body and/or the Northern Kentucky District Board of Health, said building																	

TABLE 7.1 - ZONING DISTRICTS

	RESIDENTIAL							COMM			EMP				OTHER		SPECIAL
<p>"X" means that the standard is required. "." means that the standard is not required.</p>	R-RE	R-LLS	R-CVS	R-CPS	R-M	R-MF	MHP	RC	NC	CC	BP	FI	SI	GI	CO	INST	PUD
shall be required to connect with the public sanitary sewer and water system and the private sewage disposal system and private water supply shall be prohibited.																	
5. All mechanical equipment shall be screened from view of the public street frontage or a private access drive which functions as a street. This does not include equipment that is required by a public utility company (i.e. Electric/gas meters, etc.).	-	-	-	-	-	-	-	X	X	X	X	X[1]	X[1]	X[1]	-	-	
6. Ground mounted equipment shall be screened either with landscaping or enclosed within a structure which uses the same materials, colors, or design detailing as the principal building.	-	-	-	-	-	-	-	X	X	X	X	X[1]	X[1]	X[1]	-	-	
7. If roof mounted, mechanical equipment shall be screened by a parapet wall or stage set roof types (for flat roofed buildings). If used, the parapet wall shall be designed and constructed as an integral part of the overall building. For roof mounted equipment on pitched roofed buildings, the equipment shall be wholly contained within roof structure.	-	-	-	-	-	-	-	X	X	X	X	X[1]	X[1]	X[1]	-	-	
[1] Applies only to newly constructed office and financial service buildings in the FI and GI Zones																	
D. Character Standards—Open Space																	
To provide open space.																	
1. The amount of maximum overall coverage of impervious surface permitted in the front yard is based on the size of the residential lot according to the following: 30,000 square feet or greater - 25 percent 12,501 square feet – 29,999 square feet - 30 percent 12,500 square feet or less - 40 percent The permitted impervious surface coverage stated within the above table may increase by 5 percent for any lot fronting a cul-de-sac turn around.	X	X	X	X	X	X	X	-	-	-	-	-	-	-	-	-	
2. At least 20 percent of the total acreage of the proposed development shall be retained as common open space/recreation area, and dedicated	-	-	-	-	-	-	X	-	-	-	-	-	-	-	-	-	
																	Approved per Concept or Development Plan

TABLE 7.1 - ZONING DISTRICTS																	
	RESIDENTIAL							COMM			EMP				OTHER		SPECIAL
"X" means that the standard is required. "." means that the standard is not required.	R-RE	R-LLS	R-CVS	R-CPS	R-M	R-MF	MHP	RC	NC	CC	BP	FI	SI	GI	CO	INST	PUD
to a public and/or private entity for operation and maintenance. Such open space/recreation areas shall be physically situated so as to be readily accessible, available to, and usable by all residents. Common open space/recreation areas shall be that part of the total project exclusive of dwellings, streets, parking areas, single-family lots, commercial areas, and other non-open space and non-recreationally oriented facilities.																	

- E. The following optional design features may be used to decrease the required amount of “approved exterior covering” on the front elevation as described above in subsection 7.04, B., 6. Each design feature listed in this subsection will reduce the required “approved exterior covering” on the front elevation by five percent. Under no circumstance shall the front elevation of the dwelling unit be decreased below 25 percent “approved exterior covering” when incorporating the design features from this subsection.
1. A minimum of three of the following front elevation architectural features: shutters, single window dormers, multi-pane windows, decorative crown over doors, moldings and trim, dentil moldings, quoins, pilasters, cornices, exterior crown molding or window accoutrements that add another architectural element to the house.
 2. An exterior lighting package including, but not limited to, driveway post lamps, landscape lighting, flood/spot lights, wall lanterns, lamps near house, garage entrances, and others as approved by the zoning administrator. All lighting options must be permanently affixed and not temporarily installed. A minimum of three lighting features are required.
 3. A minimum of two window types into the front architecture of the unit. This includes bay windows, oriel windows, round-top windows, transom windows, and others as approved by the zoning administrator.
 4. Minimum of two ridgelines visible from the front of the house.
 5. Minimum of a four foot deep covered entry porch with columns.
 6. Minimum of a two foot deep recessed front entry.
 7. Minimum of a three foot deep covered entry with decorative brackets.
 8. Minimum of a one foot front facing gable with a minimum of an 8:12 pitch roof.
 9. Garage set back a minimum of two feet from the furthest projecting wall on the front elevation.
 10. Windows on garage doors that face any street or right-of-way.
 11. Two or more siding types on the front elevations including, but not limited to, horizontal siding, shake siding, and board and batten siding.
 12. Minimum of one sidelight at the front entry.
 13. Minimum of six windows or more on the front elevation.
 14. Dentil blocks, decorative brackets, crown molding, or similar architectural detailing at eaves on the front elevation.

- F. The following optional design features may be used to decrease the required amount of masonry on the front elevation as described in subsection 7.04, B., 6. Each design feature listed in this subsection will reduce the required masonry on the front elevation by 10 percent.
1. Attached two car garage with one door or two separate doors and designed or located to reduce the visual impact of garage doors along street frontages. This includes side-loaded garages or front-loaded garages that provide windows or other architectural details that mimic the features of the living portion of the dwelling unit on the side of the garage facing the street.
 2. Roofs made with roof materials such as tile, slate, cedar shake with fire protections, thirty-year or more asphalt shingles, dimensional asphalt, fiberglass, metal standing seam roofs, and others as approved by the zoning administrator.
 3. Two single window dormers or one multi-window dormer.
 4. A usable, fully covered front patio/porch that stretches at least 30 percent of the building frontage with a minimum width of eight feet and a minimum depth of six feet.
 5. Full length chimney constructed of brick or stone and mortar.
 6. The main roof being a hip roof with a minimum of 6:12 pitch on all sides.

[Ord. No. 2023-O-17, Adding SI Zone character standards, 12/13/2023]

Effective on: 12/13/2023

7.05 Site Lighting

A. **Applicability**

The following standards shall apply to all exterior artificial light sources in all zones except for single-family residential uses. Uses that are in operation after dusk and/or before dawn are required to provide site lighting to ensure the safety of customers and workers. See Section 8.08 for regulations regarding glare for all uses, including single-family residential uses.

B. **Exemptions**

The following are exempted from the requirements of this section.

1. Lighting fixtures and standards required by federal, state, county, or city agencies, including street lights within public rights-of-way, except that new street lights shall use full cut-off fixtures.
2. Outdoor lighting fixtures used or required by law enforcement, fire and emergency services, transportation or similar governmental agencies to perform emergency or construction repair work, or to perform nighttime road construction on major thoroughfares.
3. Because of their unique requirement for nighttime visibility and their limited hours of operation, stadiums, ball fields, playing fields and tennis courts are exempted from the standards of this section. However, lighting for these outdoor recreational uses shall be shielded to minimize light and glare trespass onto adjacent and nearby properties.

C. **Prohibited Lighting Effects**

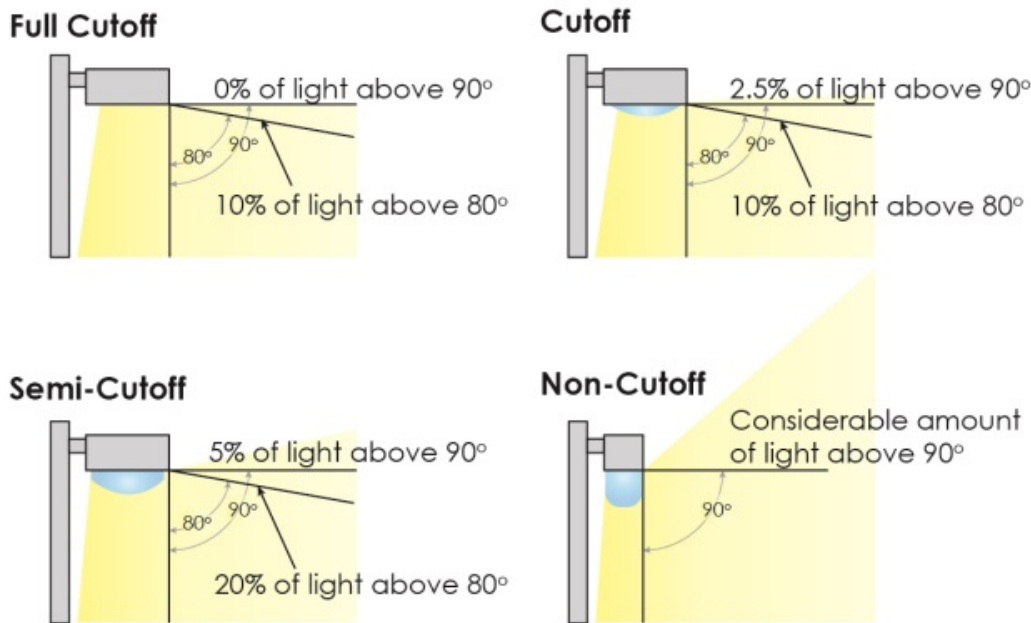
The following effects from exterior lighting of buildings, properties, developments, signs or other features, and for any use, including, but not limited to, residential, commercial, and industrial uses, shall be prohibited.

1. Light trespass (light that spills over or is directed onto adjacent properties or rights-of-way).
2. Flashing, scrolling, and strobing.

3. Lighting which may be confused with warning signals, emergency signals or traffic signals.
4. Direct or reflected glare, whether from floodlights, high temperature processing, combustion, welding, or otherwise, that is visible at the property line or right-of-way.
5. Any artificial light source which creates glare observable within the normal range of vision from any public walk, thoroughfare, or adjacent property under normal weather conditions is considered a safety hazard and is prohibited.

D. Lighting Standards

1. Parking lot lighting shall be a minimum of 1 foot candle at any point measured throughout the parking area.
2. Lighting levels shall not exceed ½ foot candle at any point along a residential property line and 5 foot candles along a nonresidential property line.
3. All lighting fixtures shall be full cut-off design and must be installed in a way that permits the full effect of full-cut-off features.



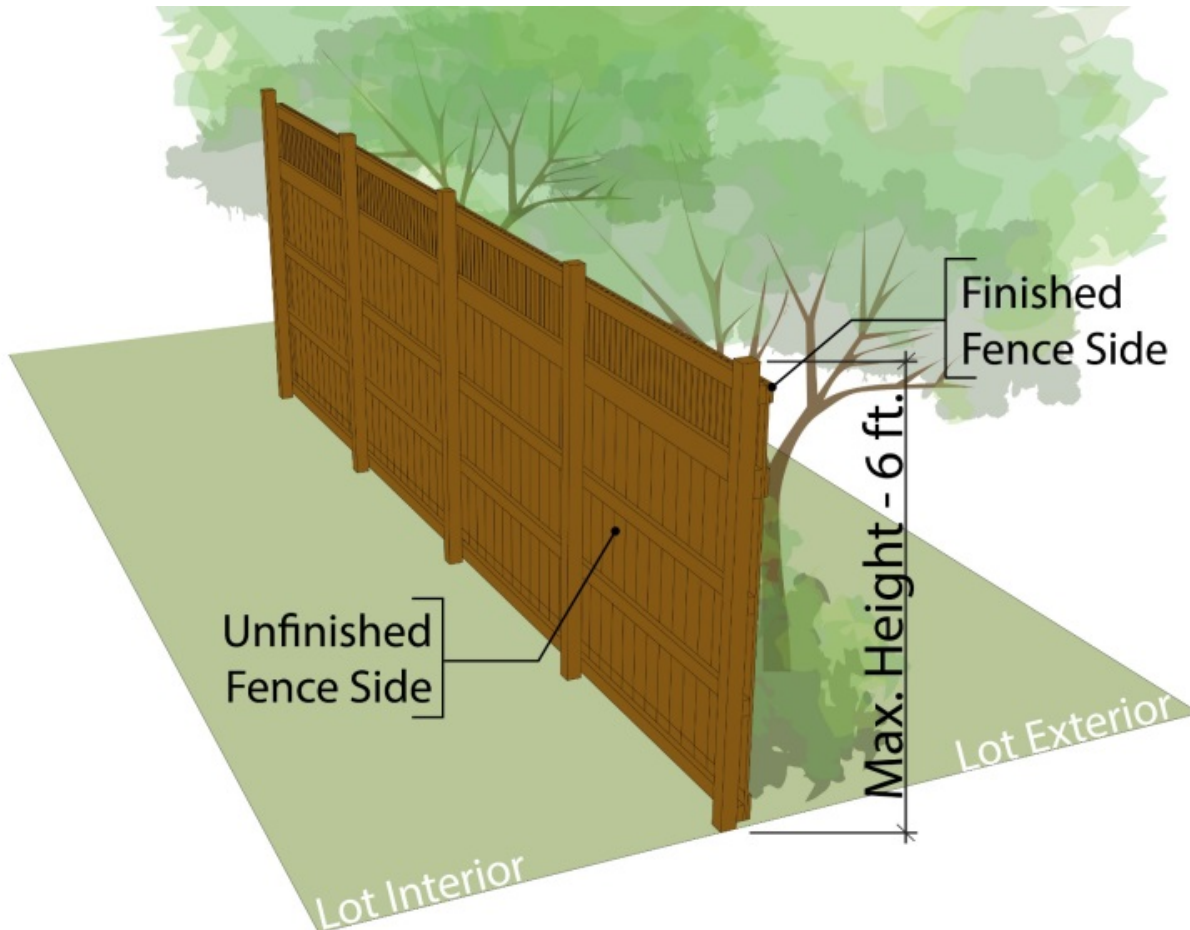
4. Light poles shall be consistent in design with the overall architectural theme of the corridor but shall not exceed 30 feet in height. Pedestrian-oriented lighting should be at smaller scales to light walkways and plazas while parking area lighting should be at larger scales to light parking areas and vehicular circulation routes.
5. Lighting should be coordinated with landscaping and signage for proper site integration.

7.06 Fences and Walls

A. General Regulations

The following standards shall apply to all fences and walls in all zoning districts unless otherwise noted.

1. Fences and walls shall be maintained in good order.
2. Fences shall not contain advertising, signs, logos or other lettering unless expressly permitted by the Zoning Administrator.
3. Where a fence or wall is used as part of required screening, all required vegetation shall be planted on the exterior side of the fence or wall (exterior to the lot). See Section 7.07, [Landscaping, Screening, and Buffers](#).
4. Any fence located within a required sight triangle shall not exceed three feet in height.
5. Fences and walls shall be constructed such that the “finished” part of the fence or wall is located to the exterior of the property.



6. Walls and fences used for landscaping or screening shall be constructed of masonry, stone, wood, vinyl or a material similar in composition and appearance as the principal building. Such walls and fences shall be opaque or shall be of a design approved by the Zoning Administrator.
7. Nothing in this subsection shall preclude the installation of temporary fences around construction works, erected or maintained pursuant to the International Building Code or Soil Erosion and Sedimentation Control Act requirements.
8. Prohibited Fences
 - a. Fences or walls topped with or containing broken glass or similar material is prohibited.
 - b. Fences constructed of readily flammable material (traditional wood fences excluded) such as paper, cloth, or canvas are prohibited.

- c. Fence material not listed in Table 7.2, Fence and Wall Types Described and Illustrated are not permitted unless approved by the Zoning Administrator as a like-material that meets or exceeds the intent of the fence standards.
- 9. Barbed wire and electric fencing are permitted only in the Agriculture district where it is accessory to a permitted agricultural use.
- 10. The construction of walls or fences is allowed on a property with no principal structure provided that a principal structure or principal use with the same ownership as the vacant property abuts the vacant property (without a street or alley separating). The fence constructed must meet all regulations of this section. Fence material must be consistent all the way around the property. Chain-link fences are prohibited on vacant properties in all Residential and Commercial Districts.
- 11. In addition to a zoning permit, certain walls and fences may also require a building permit.

B. Materials and Design

The following standards shall apply to all fences and walls in all zoning districts unless otherwise noted.

1. Fence Types Described

TABLE 7.2 - FENCE AND WALL TYPES DESCRIBED AND ILLUSTRATED


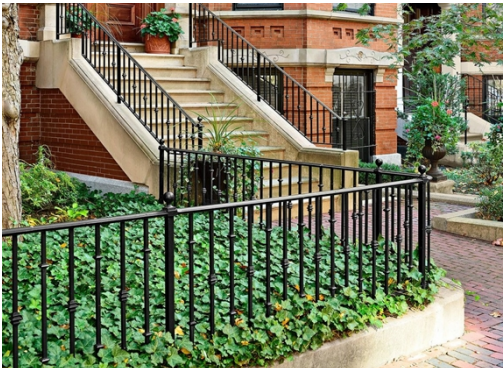




TYPE	DESCRIPTION	EXAMPLE PHOTOS
Masonry walls	Masonry walls may be made of brick, concrete block, stone, or a combination of such materials. Unfinished concrete block may not be used as a facing material. These walls may be used on many types of building sites to provide privacy, stabilize terraces, secure pets and children, and delineate or set off landscape features.	
Ornamental metal or other (materials designed to resemble ornamental metal)	Decorative metal fencing that has a pattern with a minimum 80 percent or more open. This fencing is most often used in urban areas and small lot subdivisions where the need to balance access control with visibility exists.	

TABLE 7.2 - FENCE AND WALL TYPES DESCRIBED AND ILLUSTRATED

TYPE	DESCRIPTION	EXAMPLE PHOTOS
<p>Woven wire, including chain link</p>	<p>Wire woven into a fencing material that has a pattern with a minimum 80 percent or more open. This fencing is most appropriate for agricultural areas to control livestock and delineate pasture.</p>	
<p>Wood or other (materials designed to resemble wood such as composite or vinyl)</p>	<p>Wooden picket or slat fencing either opaque (privacy fencing) or semi-opaque. Wooden slats and pickets on these fences must be a minimum of 3 inches wide.</p>	
<p>Mixed-material</p>	<p>Fences typically combining two or more fence materials. This fence type does not include woven wire fencing where fence posts made of wood or other materials may be used. These fences are often found in suburban or rural areas as visually lower-impact pet or child enclosures.</p>	
<p>Hedge</p>	<p>A fence or boundary formed by closely growing bushes or shrubs planted in a fashion that provides an opaque or nearly opaque barrier.</p>	

TABLE 7.2 - FENCE AND WALL TYPES DESCRIBED AND ILLUSTRATED

TYPE	DESCRIPTION	EXAMPLE PHOTOS
Barbed wire / sharp-pointed fences	A fence discouraging climbing or sitting through the use of sharp points or objects welded to or embedded in fence posts or walls.	
Flood retaining walls	Walls in this category are designed and intended to contain or redirect flood waters.	
Sports	These fences typically surround active sport areas such as tennis courts, volleyball courts, basketball courts, baseball fields, and football fields. They serve to keep the ball close to the field of play and to control access to the play area. Fences must be made of coated chain link or similar material.	
Security	Security walls and fences, including but not limited to razor wire, concertina wire, and similar high security fencing material required to secure industrial properties.	

2. Fence Types Limited

TABLE 7.3 - FENCE TYPES LIMITED

<p>“X” means that the fence type is permitted.</p> <p>“-” means that the fence type is not permitted.</p> <p>Maximum heights are in feet</p>	ZONING DISTRICTS																			
	RESIDENTIAL								COMMERCIAL				EMP			SPECIAL				
	R-RE	R-LLS	R-CVS	R-CPS	R-M	R-MF	MHP	COND USE	RC	NC	CC	BP	FI	SI	GI	CO	MU	INST	PUD	
a. Masonry walls	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		<p>The type, location, and height of all fences and walls shall be approved on the Concept or Final Development Plan Type, location, and height of all fences & walls shall be approved on Concept or Final Development Plan</p>
Maximum Height, Front	-								4 feet				-		-					
Maximum Height, Side	4 feet								6 feet				8 feet		7 feet					
Maximum Height, Rear	6 feet								7 feet				8 feet		7 feet					
b. Ornamental metal or other	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		
Maximum Height, Front	4 feet [1] 5 feet [4]								4 feet				6 feet			8 feet		-		
Maximum Height, Side	4 feet								6 feet				7 feet							
Maximum Height, Rear	6 feet								7 feet											
c. Woven wire, including chain link	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		
Maximum Height, Front	4 feet [1]								4 feet				8 feet		-					
Maximum Height, Side	4 feet								6 feet				7 feet							
Maximum Height, Rear	6 feet								7 feet											
d. Wood or other, more than 50% open	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		
Maximum Height, Front	4 feet [1] 5 feet [4]								4 feet				8 feet		-					
Maximum Height, Side	4 feet								6 feet				7 feet							
Maximum Height, Rear	6 feet								7 feet											
e. Wood or other less than 50% open	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X		
Maximum Height,	-								-				4 feet				-			

TABLE 7.3 - FENCE TYPES LIMITED

"X" means that the fence type is permitted. "-" means that the fence type is not permitted. Maximum heights are in feet	ZONING DISTRICTS																		
	RESIDENTIAL								COMMERCIAL				EMP			SPECIAL			
	R-RE	R-LLS	R-CVS	R-CPS	R-M	R-MF	MHP	COND USE	RC	NC	CC	BP	FI	SI	GI	CO	MU	INST	PUD
Front																			
Maximum Height, Side	4 feet																		
Maximum Height, Rear	6 feet							6 feet	7 feet				8 feet			7 feet			
f. Mixed material	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
Maximum Height, Front	4 feet [1]								4 feet				-			-			
Maximum Height, Side	4 feet																		
Maximum Height, Rear	6 feet							6 feet	7 feet				8 feet			7 feet			
g. Hedge	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
Maximum Height, Front	-								4 feet				-			-			
Maximum Height, Side	4 feet																		
Maximum Height, Rear	6 feet							6 feet	7 feet				8 feet			7 feet			
h. Barbed wire/sharp-pointed	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	X	-	-
Maximum Height, Front																-			
Maximum Height, Side																-			
Maximum Height, Rear													8 feet						
i. Flood retaining walls	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
Maximum Height, Front	Per Engineering Requirements																		
Maximum Height, Side																			
Maximum Height, Rear																			
j. Sports	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
Maximum Height, Front	12 feet																		
Maximum Height, Side																			
Maximum Height, Rear																			
k. Security [1] [2]	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Maximum Height,	-																		

TABLE 7.3 - FENCE TYPES LIMITED

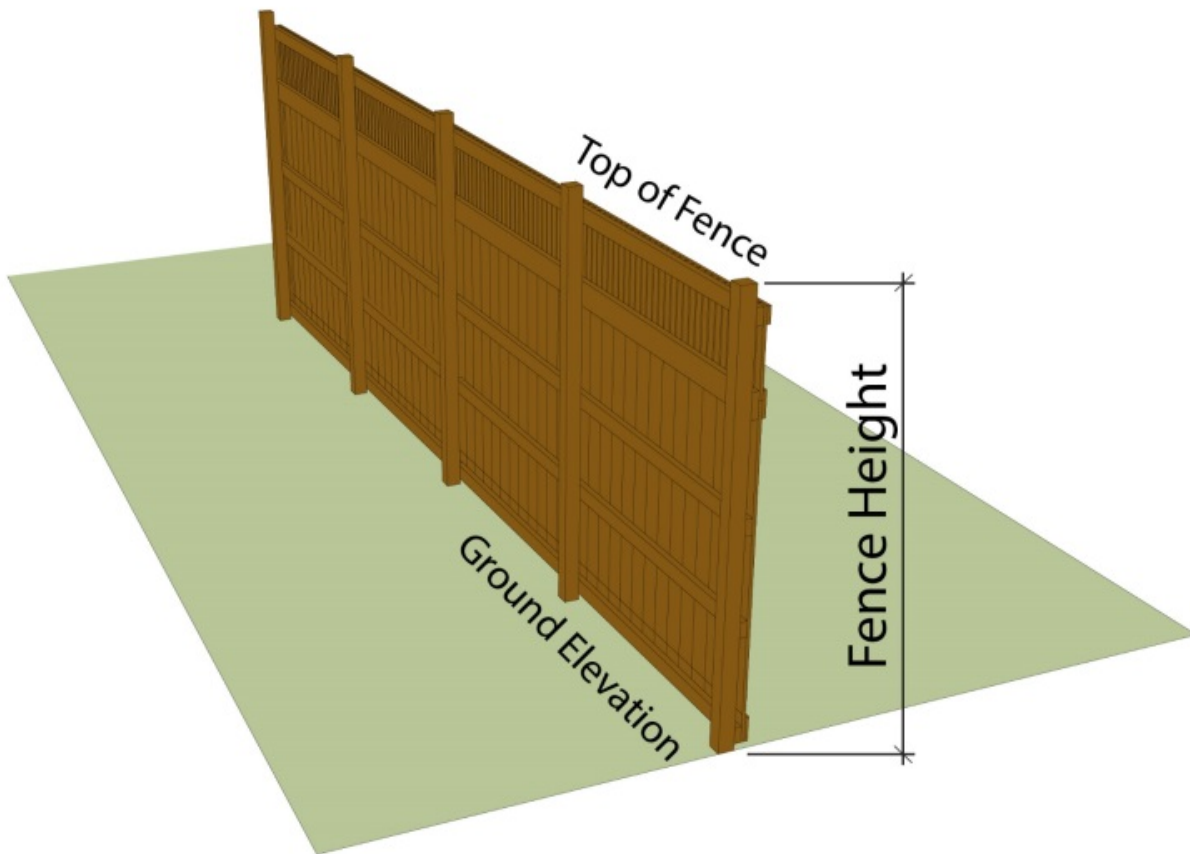
"X" means that the fence type is permitted. "-" means that the fence type is not permitted. Maximum heights are in feet	ZONING DISTRICTS																		
	RESIDENTIAL								COMMERCIAL				EMP			SPECIAL			
	R-RE	R-LLS	R-CVS	R-CPS	R-M	R-MF	MHP	COND USE	RC	NC	CC	BP	FI	SI	GI	CO	MU	INST	PUD
Front																			
Maximum Height, Side																			
Maximum Height, Rear																			
[1] Fences are only permitted in the front yard on corner lots per 7.06, B., 7.																			
[2] Barbed wire, razor wire, concertina wire, or other sharp pointed materials must be at least 5' above grade																			
[3] The maximum height of a security fence includes the height of the barbed wire, razor wire, concertina wire, or other sharp pointed material																			
[4] In the R-CVS, R-LLS, and R-RE Zones only, fences are allowed in the front yard on all lot types if the lot is over three acres in area and has frontage on an arterial or collector road.																			

3. Maintenance and Safety

Walls and fences shall be erected and maintained in a safe manner. Walls and fences not erected or maintained in a safe manner through neglect, lack of repair, manner of construction, method of placement, or otherwise deemed unsafe by the City shall be repaired, replaced, removed, or subject to enforcement action as a violation of this Ordinance.

4. Fence and Wall Measurements

- a. All fences or wall heights must be measured from ground level where the fence or wall meets the ground to the highest point of the fence or wall.
- b. Fence post finials are permitted to extend a maximum of 8 inches above the maximum height of any permitted fence.

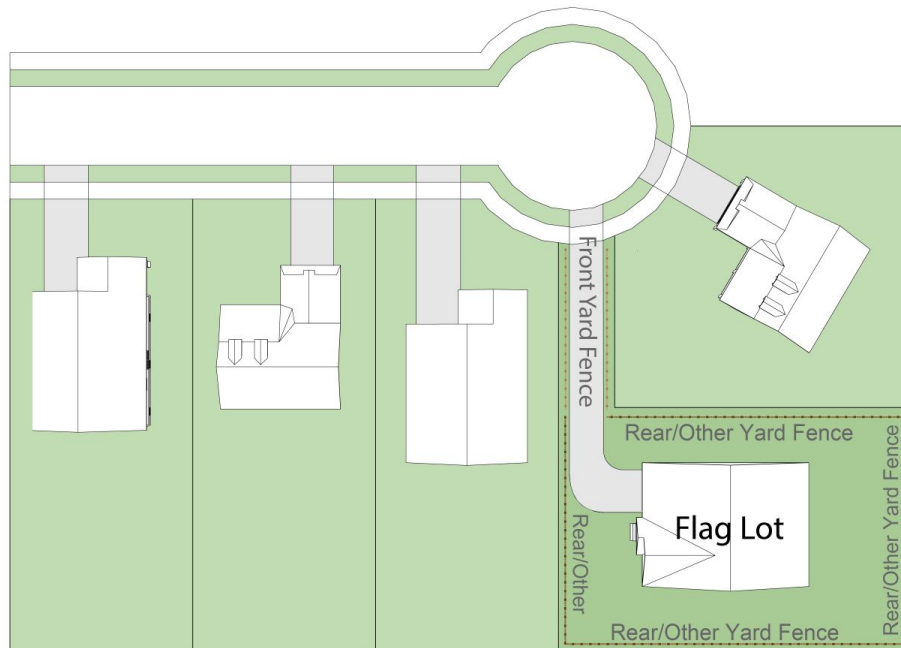


5. Retaining Walls

- a. Walls greater than six feet in height must be terraced or offset to prevent sheer vertical walls.
- b. A combination fence and retaining wall may be erected. The retaining wall portion may be erected up to a level of the highest finished grade. The fence portion must be of the class and height permitted within the zone. The measurement of fence height shall be taken from the highest grade.

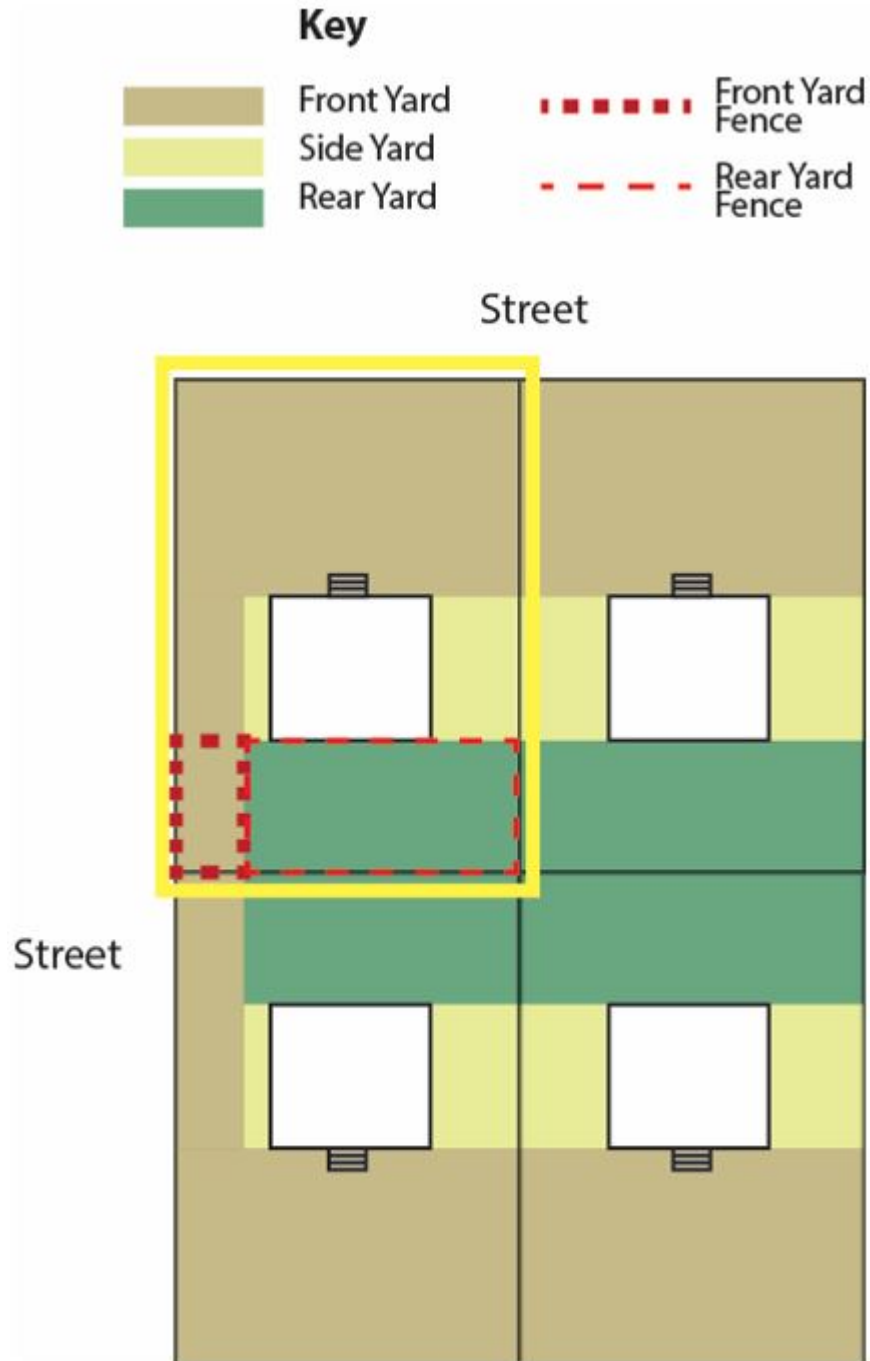
6. Fences on Flag Lots

The stem portion of flag lots are restricted to the front yard fence regulations. All other portions of the lot are permitted to have front, side, and/or rear yard fences, unless a more restrictive fence type or height is required on adjacent lot line. Where this occurs, the flag lot must use the more restrictive fence type or height standard.

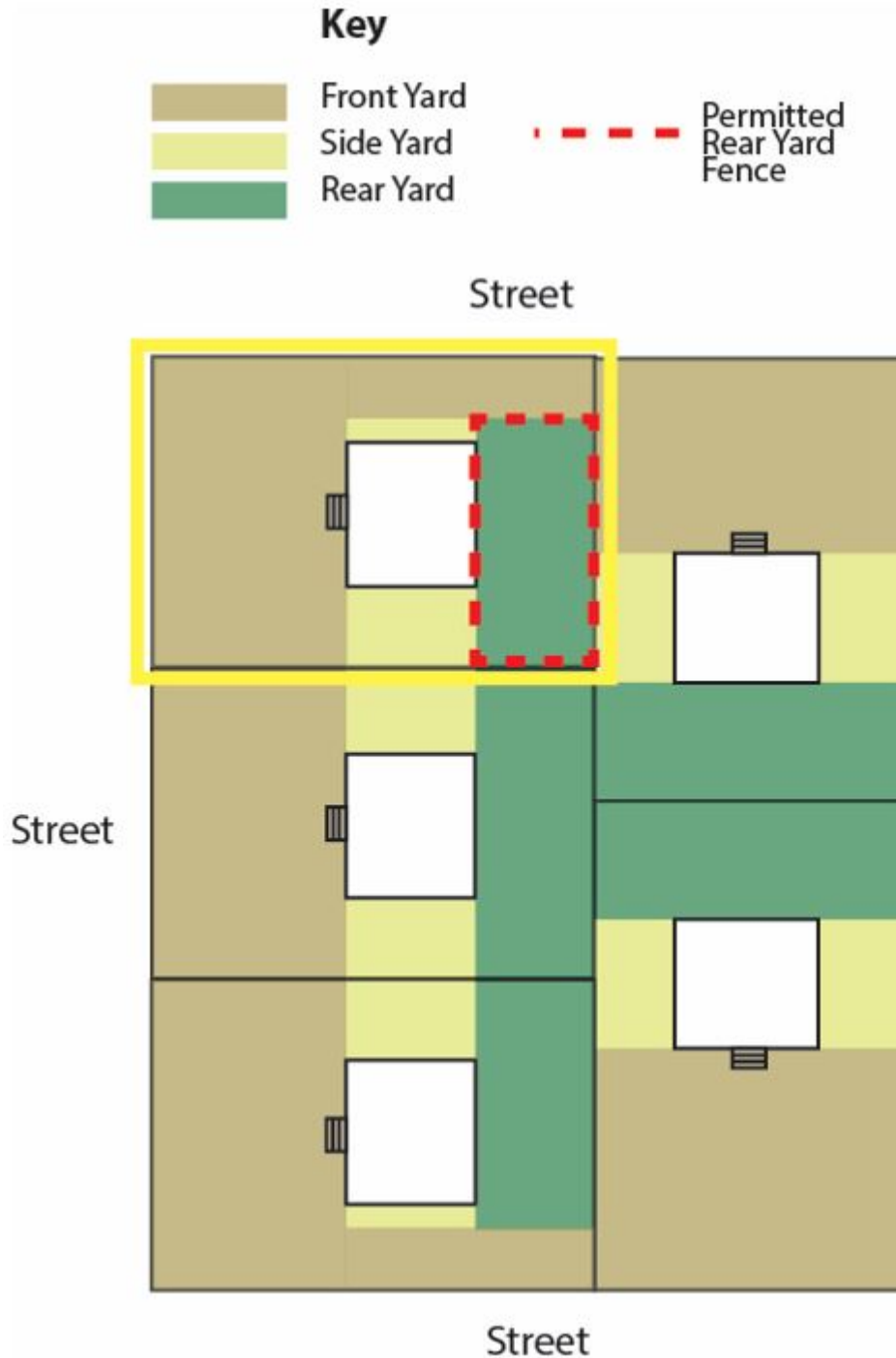


7. Fences on Corner Lots and Double Frontage Lots

- a. Fences are permitted to extend into the front yards of standard corner lots only in the locations identified below. The type and height of fences permitted to extend are specified in Table 7.3, above. Side and rear yard fences are permitted within side and rear yard areas, as defined within Article 14, for corner lots. Fences are permitted to extend into the front yards of standard corner lots only in the locations identified below. The type and height of fences permitted to extend are specified in Table 7.3, above. Side and rear yard fences are permitted within side and rear yard areas, as defined within Article 14, for corner lots.



- b. Reverse corner lots and double frontage lots are restricted to the front yard fence regulations within any front yard area adjacent to a street, with side yard fences permitted in all other yard areas. Rear yard fences are only permitted within the rear yard areas, as defined within Article 14, for double frontage lots.



8. Fences on Vacant Lots

The construction of walls or fences is allowed on a property with no principal structure provided that a principal structure or principal use with the same ownership as the vacant property abuts the vacant property (without a street or alley separating). The fence constructed must meet all regulations of Section 7.06. No accessory structure other than a fence may be constructed on a vacant property.

- a. Fence material must be consistent all the way around the property.

- b. Chain-link fences are prohibited on vacant properties in all Residential and Commercial District.

[Ord. No. 2024-O-05, Fences on corner lots, 05/14/2024; Ord. No. 2024-O-12, Front yard fences on large lots, 11/19/2024]

Effective on: 5/6/2024

7.07 Landscaping, Screening, and Buffers

A. Purpose

The purpose of this section is to establish minimum standards for the provision, installation, and maintenance of landscaped areas to physically separate and visually screen adjacent uses and zoning districts that are not compatible. These regulations are intended to:

1. Increase the compatibility of development with both adjacent development and the natural environment;
2. Provide direct and important physical and psychological benefits to human beings using landscape materials to reduce noise and glare, and to break up the monotony and soften the harsher aspects of the built environment;
3. Protect and enhance property values;
4. Improve environmental quality through the numerous beneficial effects of landscaping upon the environment.
5. Foster aesthetically pleasing development that will protect and preserve the appearance and character of the community.

B. Applicability

1. The section shall apply to all public or private development (except where exempt from zoning by KRS 100), where any provision of the section requires landscaping. The regulations of this section shall apply to any new construction, redevelopment, expansion, relocation or redesign of existing parking areas, and substantial additions to buildings. To comply, a landscape plan, which meetings the requirements of this section, must be submitted for review along with any site plan or development plan.
2. Any existing buildings that are substantially expanded per the defined criteria below are required to install perimeter landscaping. The table below dictates the level of expansion that would require conformity with the provisions of this Section. For example, if a business is 12,000 square feet and expands less than 30 percent (less than 3,600 square feet) then the requirements of this Section would not apply. However, if the expansion of the building is 30 percent or greater then these standards shall apply to the affected yards and lot lines.

TABLE 7.4

Existing Structure Square Feet	Expansion Beyond Square Feet of Existing Structure
1,000 square feet or less	101 percent or greater
1,001 to 10,000 square feet	40 percent or greater
10,001 to 25,000 square feet	30 percent or greater
25,001 to 50,000 square feet	20 percent or greater
50,001 square feet or greater	10 percent or greater

3. New parking lots or parking lot expansions containing more than ten parking spaces or more than 1,500 square feet, which whichever is larger, shall be landscaped accordingly. If an existing parking lot is moved or redesigned, the parking lot landscape standards shall apply. If an existing parking lot is

expanded, then these standards shall apply to the expanded area only. Normal maintenance, such as paving or restriping, will not invoke the parking lot landscape standards.

4. When multiple types of landscaping are required, each type must be provided, except in the following cases:
 - a. For areas on lots that require both perimeter landscape and buffer yards, the more restrictive standard shall apply;
 - b. Street trees may be counted towards the perimeter landscaping requirement;
 - c. Any type of landscaping may be used to meet the interior landscaping requirements.

C. Landscape Plan

A landscaping plan shall be required for the submission of any new development or redevelopment. This plan shall be submitted in accordance with the procedures and requirements in the Landscape and Planting Manual. Additional procedural requirements may be found in [Article 13, Process and Procedure](#).

D. Types of Landscaping Required

TABLE 7.5 - LANDSCAPE & REQUIREMENTS STANDARDS																			
		ZONING DISTRICTS																	
		RESIDENTIAL								COMM			EMP				OTHER		SPECIAL
		R-RE	R-LLS	R-CVS	R-CPS	R-M	R-MF	MHP	COND USE	RC	NC	CC	BP	FI	SI	GI	CO	INST	PUD
SECTION																			
“X” means that the standard is required. “-” means that the standard is not required.																			
Interior Site Landscaping Interior landscaping is the base landscape requirement that will increase aesthetics, encourage open space and an increase in the amount of natural vegetation within a site or development and shall be provided for all new construction.	7.07, K.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	-	X	X
Foundation and Fence/Wall Landscaping Foundation	7.07, L.	-	-	-	-	-	-	-	X	X	X	X	X	X	X	X	-	X	-

TABLE 7.5 - LANDSCAPE & REQUIREMENTS STANDARDS

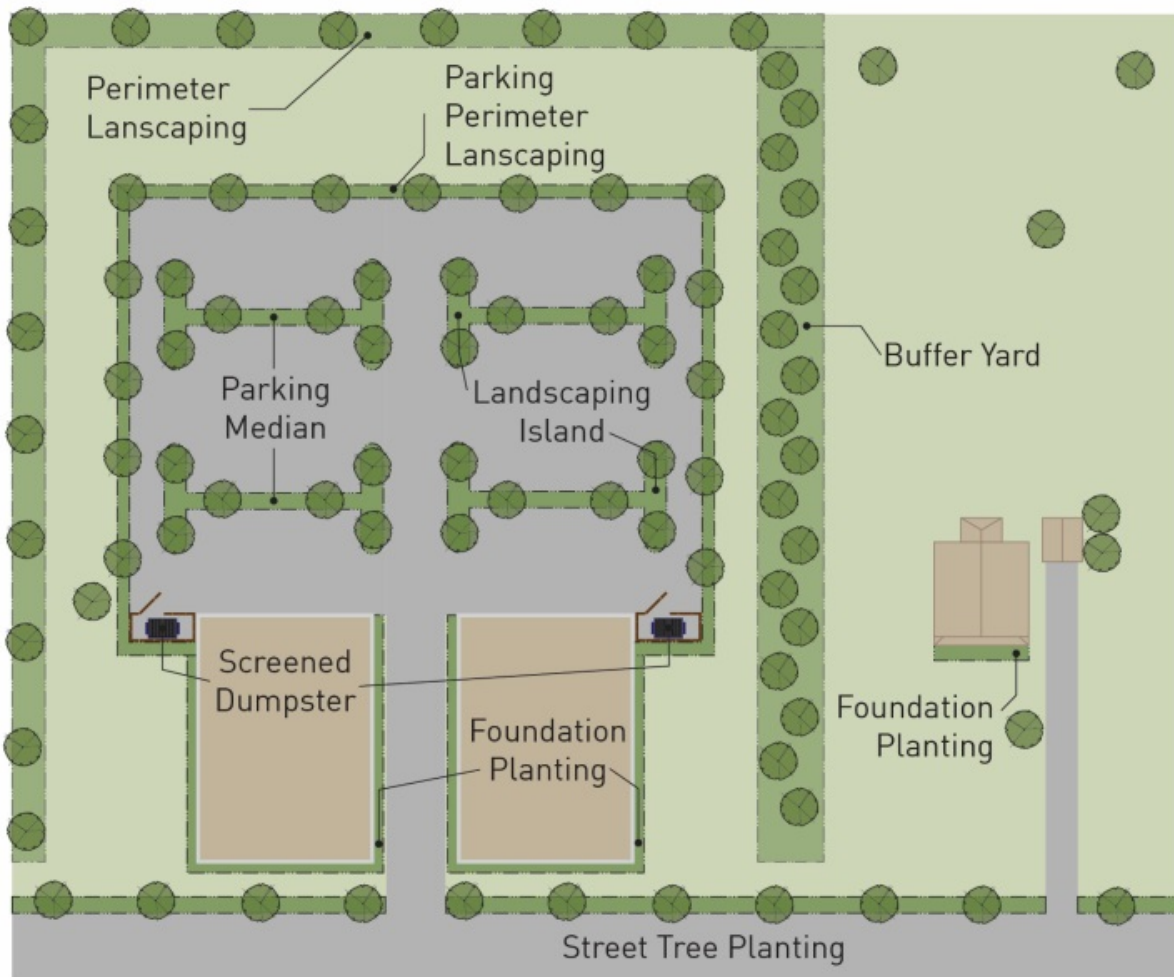
		ZONING DISTRICTS																	
		RESIDENTIAL								COMM			EMP				OTHER		SPECIAL
	SECTION	R-RE	R-LLS	R-CVS	R-CPS	R-M	R-MF	MHP	COND USE	RC	NC	CC	BP	FI	SI	GI	CO	INST	PUD
“X” means that the standard is required. “-” means that the standard is not required.																			
and fence/wall landscaping is required to break up commercial or industrial building foundations, fences, and walls. The purpose of this type of landscaping is to increase aesthetics, and to soften foundations, fences, and walls.																			
Perimeter Landscaping Perimeter landscaping is required to soften the perimeter or outside of the site or development, and expansions of existing buildings. The purpose of the perimeter landscape is to provide a slight separation between similar intensity uses.	7.07, M.	-	-	-	-	-	X	X	X	X	X	X	X	X	X	X	-	X	X
Parking Lot Landscaping Parking lot landscaping shall be	7.07, N.	-	-	-	-	-	X	X	X	X	X	X	X	X	X	X	-	X	X

TABLE 7.5 - LANDSCAPE & REQUIREMENTS STANDARDS

		ZONING DISTRICTS																	
		RESIDENTIAL								COMM			EMP				OTHER		SPECIAL
	SECTION	R-RE	R-LLS	R-CVS	R-CPS	R-M	R-MF	MHP	COND USE	RC	NC	CC	BP	FI	SI	GI	CO	INST	PUD
<p>"X" means that the standard is required.</p> <p>"-" means that the standard is not required.</p>																			
<p>provided for all new parking lots and garages, relocated parking lots, and expanded parking lots. The purpose of this is to help screen the parking lot from view of the street or other lower intensity development. Types of parking lot landscaping required include parking perimeter landscaping, landscaping islands, and parking median landscaping.</p>																			
<p>Buffer Yards Buffer yards provide an opaque buffer to limit the view of adjacent use and shall be provided for adjacent incompatible uses.</p>	7.07, O.	-	-	-	-	-	X	X	X	X	X	X	X	X	X	X	-	X	X
<p>Site Element Landscaping Site element landscaping shall be</p>	7.07, P.	-	-	-	-	-	X	X	X	X	X	X	X	X	X	X	-	X	X

TABLE 7.5 - LANDSCAPE & REQUIREMENTS STANDARDS

		ZONING DISTRICTS																	
		RESIDENTIAL								COMM			EMP				OTHER		SPECIAL
	SECTION	R-RE	R-LLS	R-CVS	R-CPS	R-M	R-MF	MHP	COND USE	RC	NC	CC	BP	FI	SI	GI	CO	INST	PUD
<p>"X" means that the standard is required.</p> <p>"-" means that the standard is not required.</p>																			
<p>provided to screen elements on a site that may have additional noise, odor, or susceptible to trash and debris build-up such as dumpsters and mechanical equipment.</p>																			
<p>Street Trees Street trees provide additional aesthetic enhancement along City street if determined by the Zoning Administrator that a street has established street trees lining the right-of-way. The purpose of street trees are to maintain the established aesthetic and character of a street.</p>	7.07, Q.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X



E. Materials

1. The Landscape and Planting Manual shall be used to determine the appropriate plant materials, form, and density used in any landscape plan.
2. Areas of a site that are not being used for the building, off-street parking and loading, and interior sidewalks and walkways, must be covered with grass or other types of ground cover. Grass and other types of living ground cover shall cover at least 75 percent of all open space areas, the other 25 percent may be non-living natural ground cover such as rocks and stones. Parking lot islands may be covered by grass, other living ground covers, or non-living natural ground cover. This provision does not apply to inert stabilization in areas subject to severe runoff or erosion. Use of native species is encouraged. Tire mulch and impervious materials shall not be used as ground cover anywhere on a site, except for playgrounds.
3. When calculating the number of plants required, the number of plants shall be rounded up to the nearest whole number.

F. Installation and Maintenance

1. At the time of installation, plant materials must meet the minimum caliper and height requirements identified in the Landscape and Planting Manual.

2. Concrete or similar curbing shall be installed around all landscape areas adjacent to parking lots, drives, sidewalks, bikeways, or streets to contain landscape material and to provide protection from vehicles. In low-impact design landscape areas, wheel-stops or curb breaks can be substituted.
3. Maintenance of the required landscape and buffers are the responsibility of the property owner. Maintenance includes actions necessary to keep landscape materials healthy, neat and orderly in appearance and free of litter and debris. The minimum standards for all maintenance of required plant materials shall be per the Tree Care Industry Association ANSI A300 Standards. Any living plant material that dies or is destroyed shall be replaced by the property owner.
4. Buffer yards over time may lose their screening ability and shall be replanted to meet the requirements of this Ordinance. The Zoning Administrator may order required buffer yard landscape plants to be replaced for as long as the conditions requiring the buffer exist.
5. The Zoning Administrator may order all other diseased, infested, dying, dead, or damaged landscape plants required in this Section to be replaced within a eight-year period from the date the Certificate of Zoning Compliance was granted. This does not apply to required buffer yards which are covered in subsection 5 above.
6. Replacement of trees and landscape is permitted and shall be in accordance with applicable provisions of this Ordinance.
7. Once streets have been accepted by the City, street trees shall be maintained and cared for by the property owner adjacent to the tree except in subdivisions where the property owners' association provides maintenance and care. Prior to street acceptance, the developer shall be responsible for ensuring maintenance and care. Maintenance shall include replacement and trimming as necessary. A maintenance responsibility statement shall be provided on the Final Plat and documented within the homeowners' association articles of incorporation or the restrictive covenants/deed restrictions for the development.

G. Alternative Compliance

1. The Landscape and Planting Manual includes plant lists which shall be used when selecting trees and shrubs to meet the requirements of this section. For design flexibility, plant substitutions may be made on the following basis, unless otherwise noted:

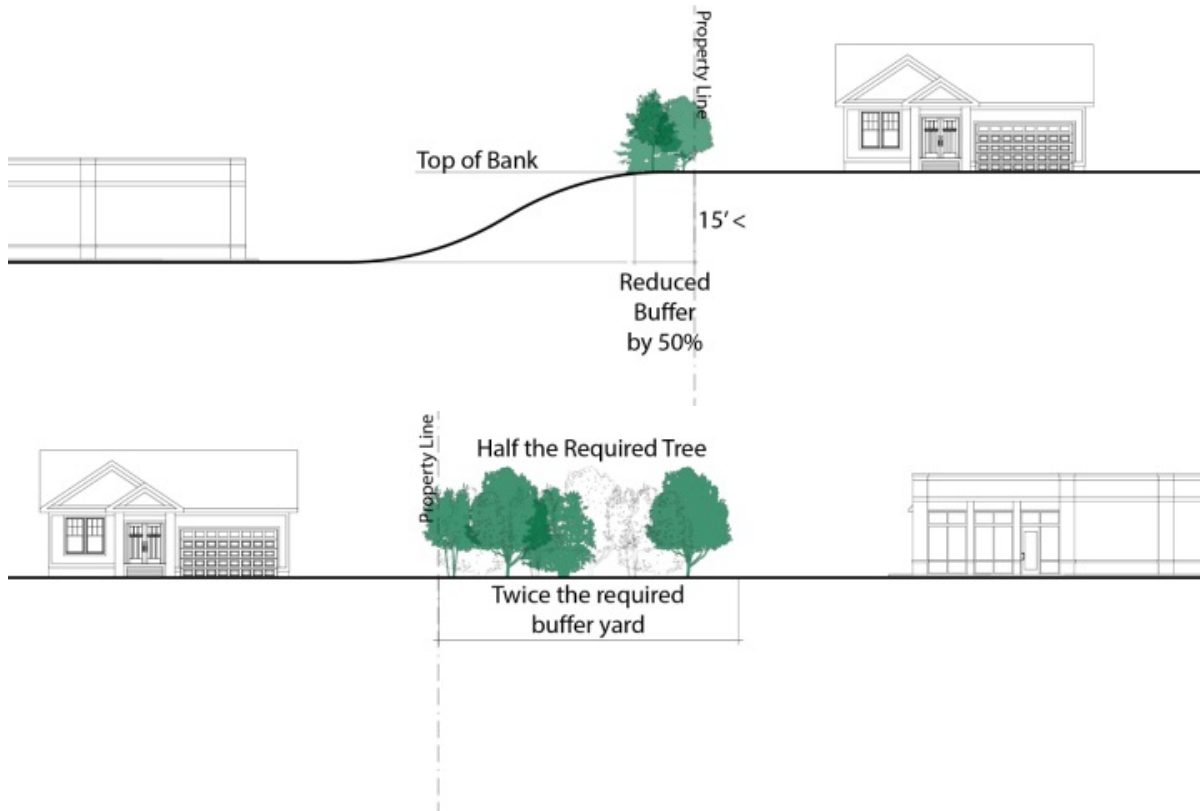
1 large tree = 2 medium trees = 2 evergreen trees

1 medium tree = 1 evergreen tree

1 large shrub = 2 medium shrubs = 4 small shrubs

1 medium shrub = 2 small shrubs

2. Where evergreen trees or shrubs are required for screening, substitutions as noted above are not permitted.
3. Unless specifically required, trees and shrubs do not have to be equally spaced but may be grouped together.
4. Where a property has unique conditions, the following adjustments are permitted:
 - a. When there is a topographical change of 15 feet or greater, a buffer yard width may be reduced by 50 percent. The required landscaping must be placed at the top of the bank.
 - b. When there is an undisturbed area twice as wide as the required buffer yard width, the number of required trees can be reduced by 50 percent.

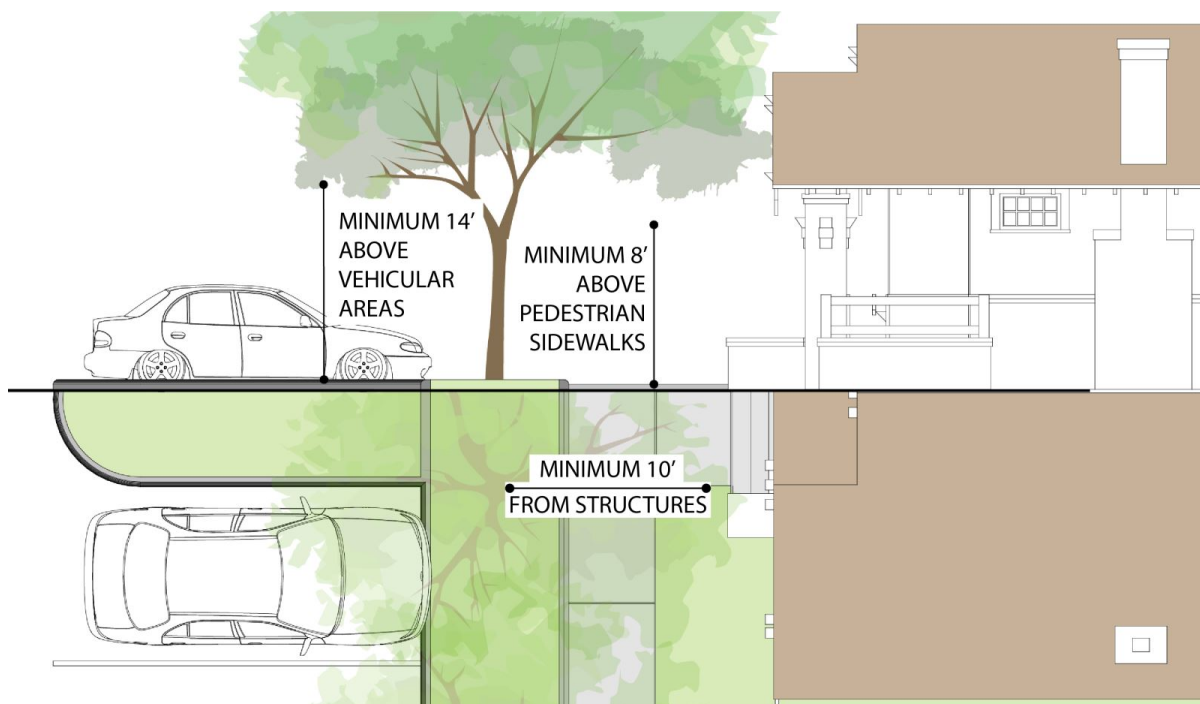


- H. Existing trees can be preserved to meet the requirements of any of the landscape requirements.
1. If these trees are removed by any means, the property owner shall be responsible to provide new landscaping that meets these requirements.
 2. Barriers shall be used to protect trees during the development of the site. Substantial barriers shall be specified on the landscape plan and shall be placed at or beyond the critical root zone (an area equal to a 1-foot radius from the base of the tree's trunk for each one inch of the tree's trunk diameter at 4.5 feet above grade). These barriers shall remain in place during heavy construction on the site and no vehicles, machinery, tools, chemicals, construction materials, or temporary soil deposits may be permitted within the barriers, nor may any notice or other object be nailed or stapled to protected trees.
 3. The trees being preserved must be in the same general location and be able to fulfill the same purpose as required landscaping.
- I. Under conditions where a strict interpretation of the requirements of this Section may be either physically impossible or create practical difficulties, an alternative compliance procedure may be used to maintain the spirit rather than the literal interpretation of the Ordinance. The proposed solution must equal or exceed standard landscaping requirements. Requests to the Zoning Administrator for use of alternative landscaping schemes are justified only when one (1) or more of the following conditions apply:
1. The sites involve space limitations or unusually shaped parcels;
 2. Topography, soil, vegetation, or other site conditions are such that full compliance is impossible or impractical;
 3. Due to a change of use of an existing site, the required buffer is larger than can be provided;
 4. Safety considerations are involved; or

5. Existing utility lines or easements complicate the placement of required plant materials.

J. Clearance Areas

1. Landscaping in required landscaped areas shall not obstruct the sight lines between the street and the access drives and parking aisles near the entries and exits in accordance with the standards provided for in Section 6.07, [Clear Sight Distance Required](#). Landscaping shall not be located where it creates an obstruction of view in the radius of any curb return.
2. Large and medium trees shall be planted or preserved so that when they reach maturity, there will be a minimum ten-foot clearance between the tree trunk and structures, building overhangs, walls, fences, utilities, or signs. Small trees shall be planted or preserved so that when they reach maturity, there will be a minimum ten-foot clearance between utilities or signs.
3. Trees shall maintain a minimum of eight feet of vertical clearance over any pedestrian or bicycle areas and a minimum of 14 feet over all vehicular areas.



K. Interior Landscaping

1. Ten percent of each lot must be landscaped with trees, shrubs, or planting beds. Grass or other types of ground cover does not count towards these requirements. Plants, bioretention areas, filter strips, swales, and constructed wetlands used to meet another landscaping requirement can be used to meet this requirement.
2. Primary entryways to developments shall be landscaped. The landscape shall be set back from the right-of-way to avoid impeding sight lines at the intersection according to Section 6.07, [Clear Sight Distance Required](#). These areas can include signage, wayfinding, shrubbery, trees, and ornamental planting.
3. The table below contains the minimum requirements for interior landscaping. All trees required within this subsection shall be planted within the private lot or common open space and must be spaced at a width sufficient to accommodate mature growth.

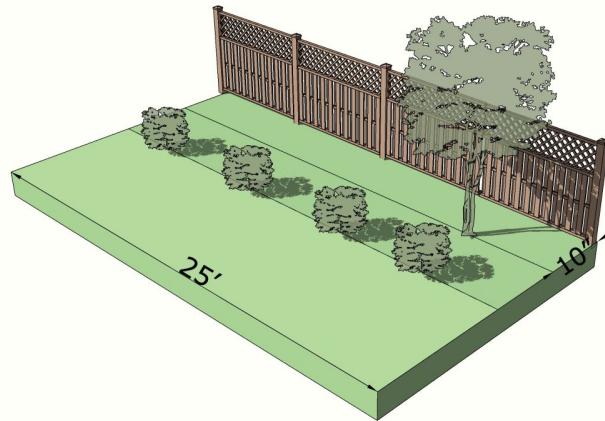
TABLE 7.6 - LOT PLANTING

Lot Size	< 12,000 sf	12,000 – 22,000 sf	22,000 – 45,000 sf	> 45,000 sf
Min. Number of Trees ¹	2	3	4	5 +1 per 15,000 sf of lot area over 45,000 sf
Large Tree	1	1	1	1/3 of all trees
Tree Placement	At least 1 in Front Yard	At least 2 in Front Yard	At least 2 in Front Yard	At least 3 in Front Yard

¹ Trees can be either large, medium, or evergreen, unless specified in the chart above.

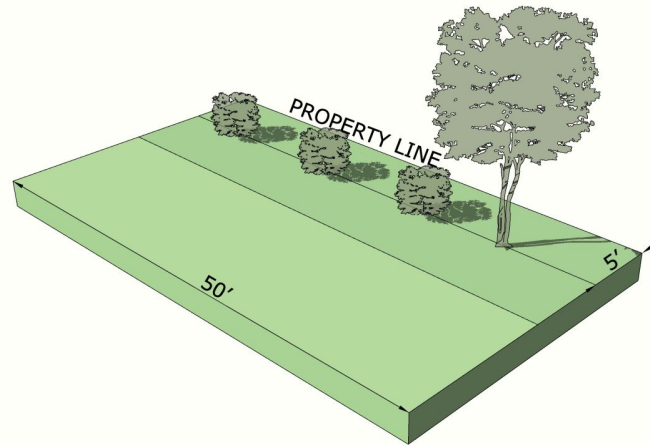
L. Foundation and Fence / Wall Landscaping

1. This subsection shall apply to walls and fences that are visible from and within a yard that abuts the public right-of-way and have a foundation, fence, or wall greater than 25 feet in length.
2. There shall be at least one small tree and four large shrubs for every 25 feet of the foundation, fence, or wall. These must be planted within 10 feet of the foundation, fence, or wall. These can be clustered in groups instead of placing on center to promote a more natural setting.
3. Where required, this landscaping may be counted toward any required interior landscaping.



M. Perimeter Landscaping

1. Perimeter landscaping shall be required for any new buildings, or the expansion of an existing building meeting the requirements in Section 7.07, B.,2., Applicability
2. Perimeter landscaping shall be located within the front, rear, and side yard setbacks and shall include one medium tree or medium street tree planted and two large shrubs every 50 feet of linear feet. These must be planted within five feet of the front, rear, and side property line. These can be clustered in groups instead of placing on center to promote a more natural setting.



3. Perimeter landscaping may include bioretention areas, filter strips, swales, and constructed wetlands provided they meet the requirements of the Storm Water Best Management Practice Manual prepared for the Northern Kentucky region.

N. Parking Lot Landscaping

1. All landscaped areas shall be separated from vehicular use areas by concrete curbing. Roll curbs may not be used for this separation. In low-impact designed landscape areas, wheel-stops or curb breaks can be substituted.
2. Parking lot landscaping consists of perimeter parking lot landscaping, parking lot peninsula and island landscaping, landscaping between multiple parking bays, and parking garage landscaping.

a. Perimeter Parking Lot Landscaping

TABLE 7.7 - PERIMETER PARKING LOT LANDSCAPING REGULATIONS

Parking Lot location	Min. Perimeter Landscape width	Min. Required Trees (per 50 LF)	Min. Required Evergreen Shrubs (per 50 LF) ¹
Front and adjacent to public right-of-way	10 feet	(1) 2 large; or (2) 4 medium; or (3) 4 evergreen	(1) 15 large; or (2) 30 medium; or (3) 45 small
Rear/Side Adjacent	5 feet	(1) 3 large; or (2) 6 medium; or (3) 6 evergreen	
Residential Adjacent ²	15 feet		

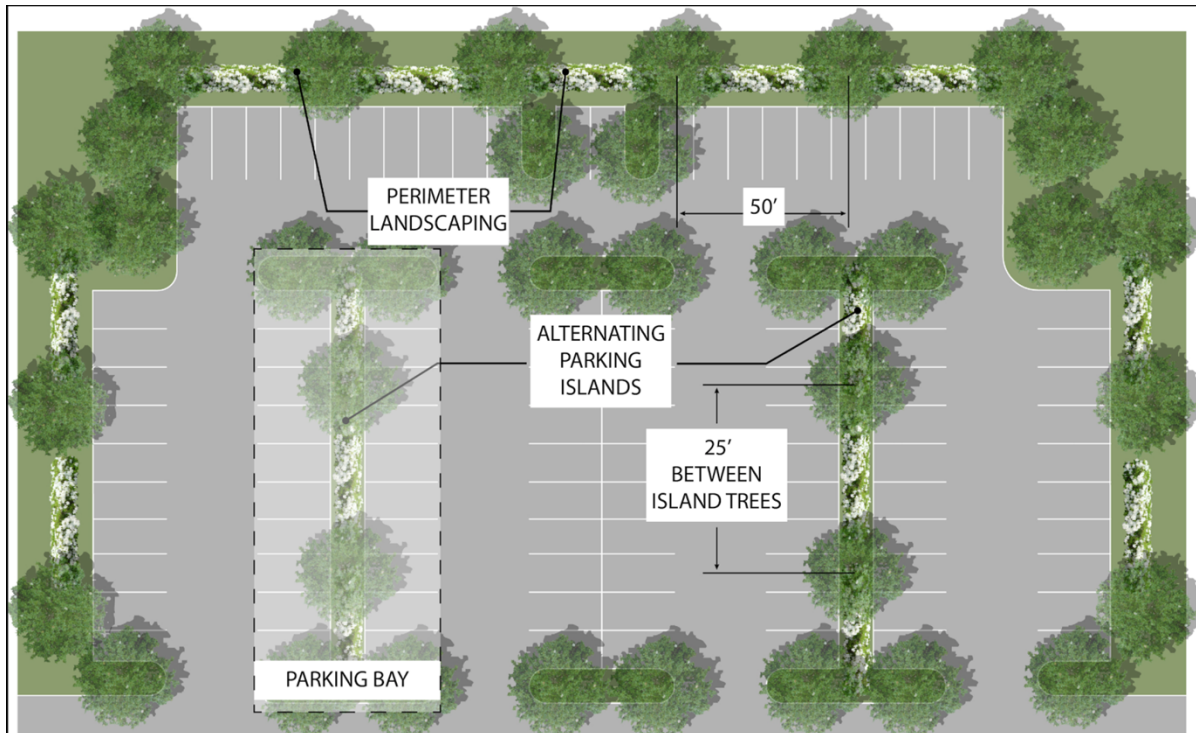
¹ Dense or very dense shrubs

² A solid fence may be used adjacent to residential (if the type and location is permitted by the fence regulations). If a fence is used, trees are not required. Shrubs are still required and shall be planted between the fence and the adjacent property line.

b. Parking Lot Peninsula and Island Landscaping

1. All rows of parking shall be capped with a parking lot peninsula or island.
2. A parking lot peninsula or island is required for every 10 continuous parking spaces.

3. Peninsulas and islands shall be a minimum size of 9 feet wide by 19 feet long. Peninsulas and islands only adjacent to compact parking spaces (if permitted) shall be a minimum of 8 feet wide by 17 feet long.



4. Parking lot peninsulas and islands shall require at least one medium tree or medium street tree. Every peninsula and island shall also contain two large shrubs with ground cover, mulch, or decorative rock.
5. Low Impact Development practices are encouraged including: native grasses and vegetation, bioretention or rain gardens, grassed swales, and soil improvements.

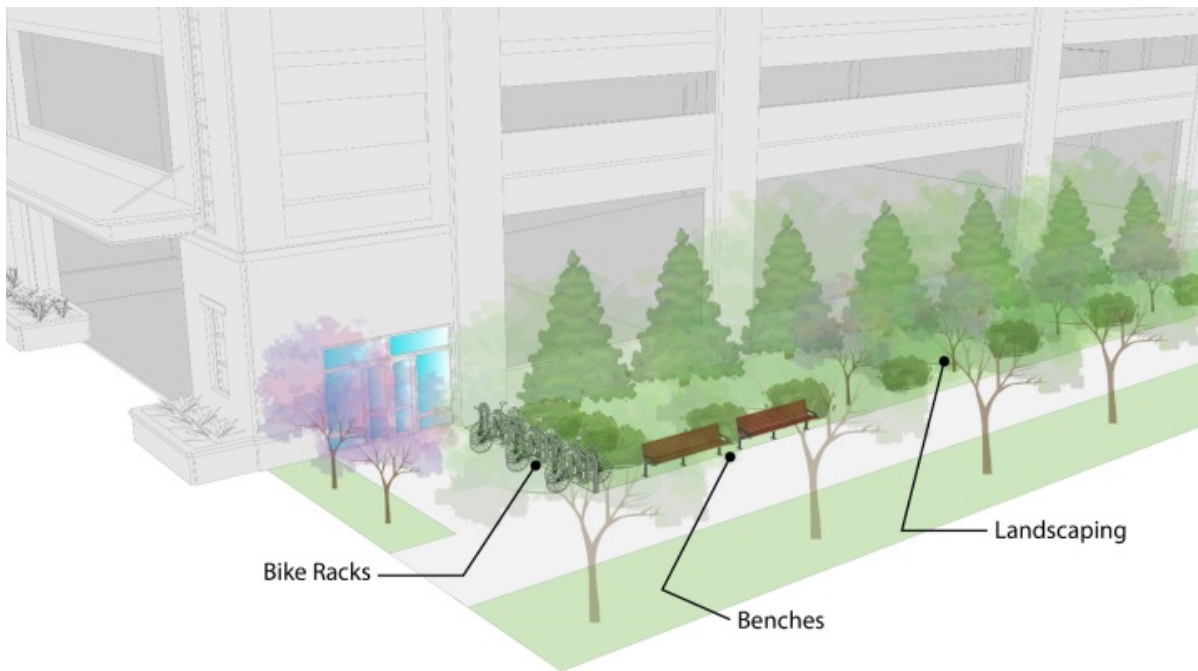
c. Multiple Parking Bays

1. When a parking lot contains two or more parking bays, there shall be a continuous landscape island down the middle of every other bay. One medium tree and two large shrubs are required for every 25 feet. The remainder must be covered with ground cover, mulch, decorative rock, or pedestrian walkways that meets the requirements of Section 10.20, C. Low Impact Development practices are encouraged, such as rain gardens, bioretention cells, and infiltration trenches.

d. Parking Garages

1. Perimeter Parking Garage Foundation Landscape

A parking garage shall meet the perimeter parking lot landscaping requirements found in Section 7.07, L., 2., a., Parking Lot Landscaping.



2. Pedestrian Amenities

Adjacent to any primary street frontage there shall be pedestrian-oriented amenities which can include benches, planters, bicycle racks, scooter storage areas, vehicular drop off, street lights, trash cans, charging station, etc. Two amenities should be chosen to be located on primary street frontage. The applicant may propose another alternative that meets the intent of the requirements approved by the Zoning Administrator. These amenities can be located within the right-of-way provided that written approval has been provided by the appropriate government jurisdiction.

3. Garage Screening Requirements

Trellises or hanging baskets may be used to further enhance parking garage parapets or around the exterior of the parking structure, especially when visible to adjacent residential spaces. Appropriately irrigated and drained planting boxes should be used. Planter boxes should be provided at the top level of the parking garage. If a parking garage is effectively hidden by a building, has an architectural façade, or has first floor retail or office, Perimeter Parking Garage Foundation Landscape and Pedestrian Amenities are not required.

O. Buffer Yard Requirements

TABLE 7.8 - BUFFER YARD REQUIREMENTS									
DEVELOPING USES		ADJACENT USES							
Based on Table 4.1		Residential		Recreation	Lodging	Institutional	Commercial, Office, and Lodging	Industrial/Transportation	Interstate Limited Access Roadway
		Single/2/3/4 Family Residential	Multi-Family Residential	ALL	Bed and Breakfast, and Short Term Rentals	ALL	All Commercial and Office, and all other Lodging	ALL	ALL
Residential	Single/2/3/4 Family	-	-	-	-	-	-	-	2

TABLE 7.8 - BUFFER YARD REQUIREMENTS

DEVELOPING USES		ADJACENT USES							
	Residential								
	Multi-Family Residential	1	-	-	-	-	-	-	2
Recreation	ALL	1	1	-	-	-	-	-	2
Lodging	Bed and Breakfast, and Short Term Rentals	1	1	1	-	-	-	-	2
Institutional	ALL	2	2	1	1	-	-	-	2
Commercial, Office, and Lodging	All Commercial and Office, and all other Lodging	2	2	2	2	1	-	-	2
Industrial/Transportation	ALL	3	3	2	2	1	1	-	2

TABLE 7.9 - BUFFER YARD TYPES

BUFFER YARDS	ARCHITECTURAL AND VEGETATIVE		VEGETATIVE
1	<p>Minimum 7.5' wide Buffer Yard 6' tall fence or wall (must be an allowable type and height per Section 7.06) and Trees- planted between fence and adjacent property 2 trees per 1,000 square feet of buffer area, 25% large, 25% medium, and 50% evergreen and Shrubs- planted between fence and adjacent property 2 medium or large shrubs per 1,000 square feet of buffer area, 100% evergreen, any density</p>	or	<p>Minimum 15' wide Buffer Yard Trees 4 trees per 1,000 square feet of buffer area, 25% large, 25% medium, and 50% evergreen and Shrubs 4 medium or large shrubs per 1,000 square feet of buffer area, 100% evergreen, any density</p>
2	<p>Minimum 15' wide Buffer Yard 6' tall solid fence (less than 50% open) or wall (must be an allowable type and height per Section 7.06) and Trees- planted between fence and adjacent property 3 trees per 1,000 square feet of buffer area, 50% large and 50% evergreen and Shrubs- planted between fence and adjacent property 4 medium or large shrubs per 1,000 square feet of buffer area, 75% dense or very dense evergreen</p>	or	<p>Minimum 30' wide Buffer Yard Trees 5 trees per 1,000 square feet of buffer area, 50% large and 50% evergreen and Shrubs 8 medium or large shrubs per 1,000 square feet of buffer area, 75% dense or very dense evergreen</p>
3	<p>Minimum 37.5' wide Buffer Yard 6' tall solid fence (less than 50% open) or wall (must be an allowable type and height per Section 7.06) or a 6' high berm (3:1 slope max, 2.5:1 slope if designed by a geotechnical engineer) and Trees- planted between fence and adjacent property 3 trees per 1,000 square feet of buffer area, arranged in a double row with 100% evergreens and Shrubs- planted between fence and adjacent property 4 medium or large shrubs per 1,000 square feet of</p>	or	<p>Minimum 75' wide Buffer Yard Trees 5 trees per 1,000 square feet of buffer area, arranged in a double row with 100% evergreens and Shrubs 8 medium or large shrubs per 1,000 square feet of buffer area, 100% dense or very dense evergreen Another option can be presented as long as there is 100% opacity.</p>

TABLE 7.9 - BUFFER YARD TYPES

BUFFER YARDS	ARCHITECTURAL AND VEGETATIVE	VEGETATIVE
	buffer area, 100% dense or very dense evergreen	

P. Site Element Landscaping

1. All trash dumpsters, trash pads, and ground-mounted heating and cooling units shall be screened from residential uses, residential zones, and all adjacent public roads. This equipment shall use a six-foot-high solid fence or wall (if the type and location is permitted by the fence regulations) along with three small or medium evergreen shrubs per 10 lineal feet. The evergreen shrubs must be within five feet of the equipment and may be grouped together. An alternative option is a six-foot high evergreen screen planted in a double staggered row with three medium evergreen shrubs per 10 lineal feet. The evergreen shrubs must be within five feet of the equipment.
2. Detention/retention basins and ponds shall be landscaped per the interior landscape regulations and are encouraged to be shaped to replicate a natural form of a pond. Such landscaping should include shade and ornamental trees, evergreens, shrubbery, hedges, or other plant materials. Use of native species is encouraged.
3. Any service structure that can be seen from the first floor of a residence or from any street shall be screened with a solid evergreen screen surrounding the service structure. Structures may be grouped together; however, screening height requirements shall be based upon the tallest of the structures. Service structures shall include but are not limited to propane tanks, electrical transformers, utility vaults which extend above ground, ground mounted utility equipment and any electrical or other equipment or elements providing service to a building or a site. All service structures shall be adequately screened so it is not visible from adjacent residential developments or public right-of-way.
4. Site elements such as outdoor lighting, signage, trash receptacles and fencing should be considered integral parts of the landscape plans.

Q. Street Trees

1. Street trees shall be provided if it is determined by the Zoning Administrator that a street has established street trees lining the right-of-way.
2. Street trees can be placed in the required area between the property line and the front, rear and side yard setbacks. Street trees can be placed in an easement if written approval is granted by the holder of the easement. Street trees can be placed in the right-of-way provided that written approval has been provided by the appropriate government jurisdiction.

TABLE 7.10 - STREET TREE REQUIREMENTS

	QUANTITY	MAX. DISTANCE BETWEEN TREES	LOCATION
Arterial and Collector Streets	1 medium street tree per 50 linear feet	60 feet	Sec. 7.07, H.
Local Streets	1 medium street tree per 40 linear feet	50 feet	

3. Street trees should be planted in a row between the street curb and sidewalk. If this zone is not available, the trees shall be planted adjacent to the right-of-way, no more than five feet from it.
4. Street trees shall be, at a minimum, planted two and one-half feet from the curb edge or from a sidewalk. It is recommended that a greater distance be used if possible.

[Ord. No. 2023-O-17, Adding SI Zone landscaping, 12/13/2023]

Effective on: 12/13/2023